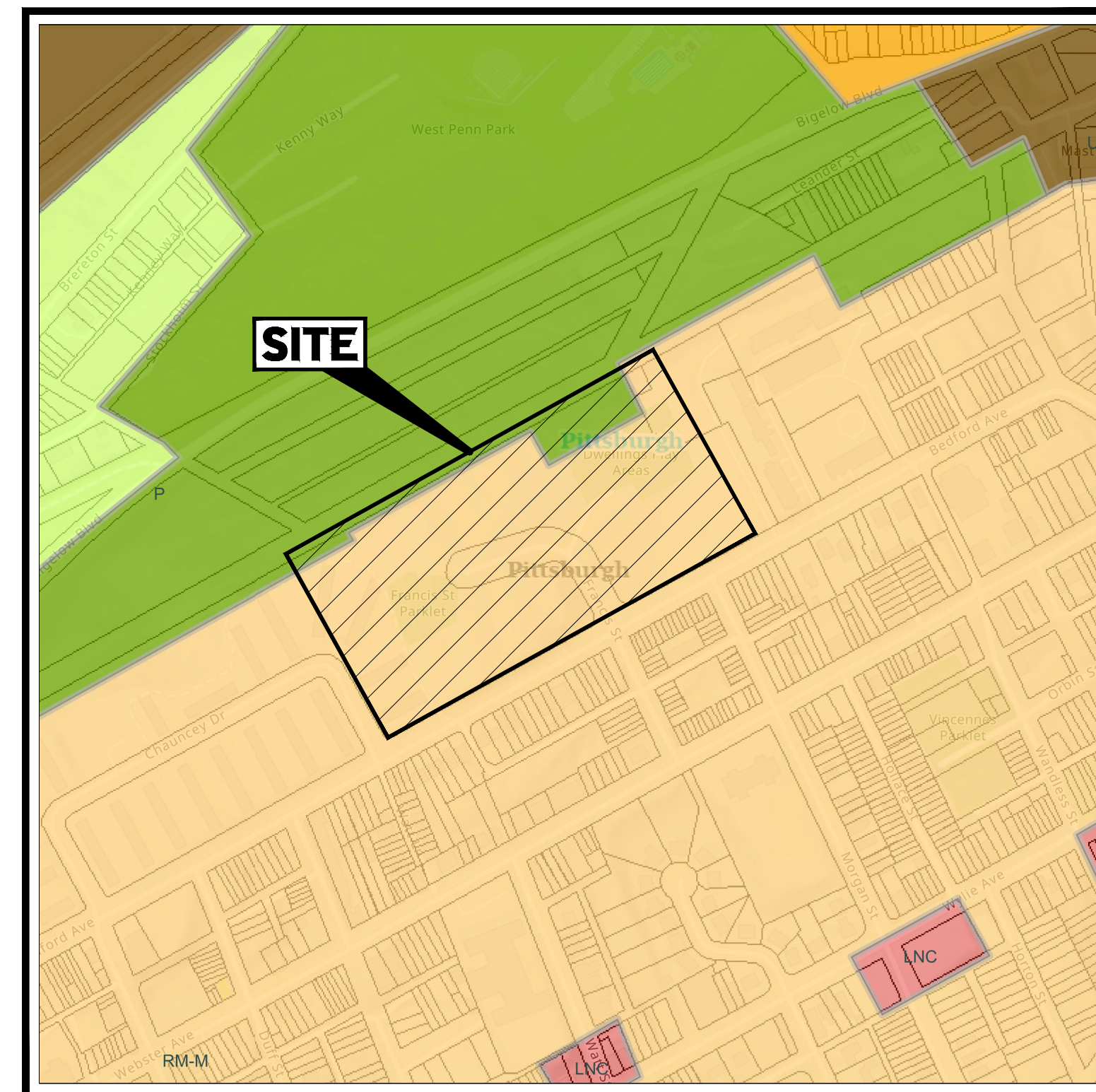


PRELIMINARY/FINAL LAND DEVELOPMENT DRAWINGS

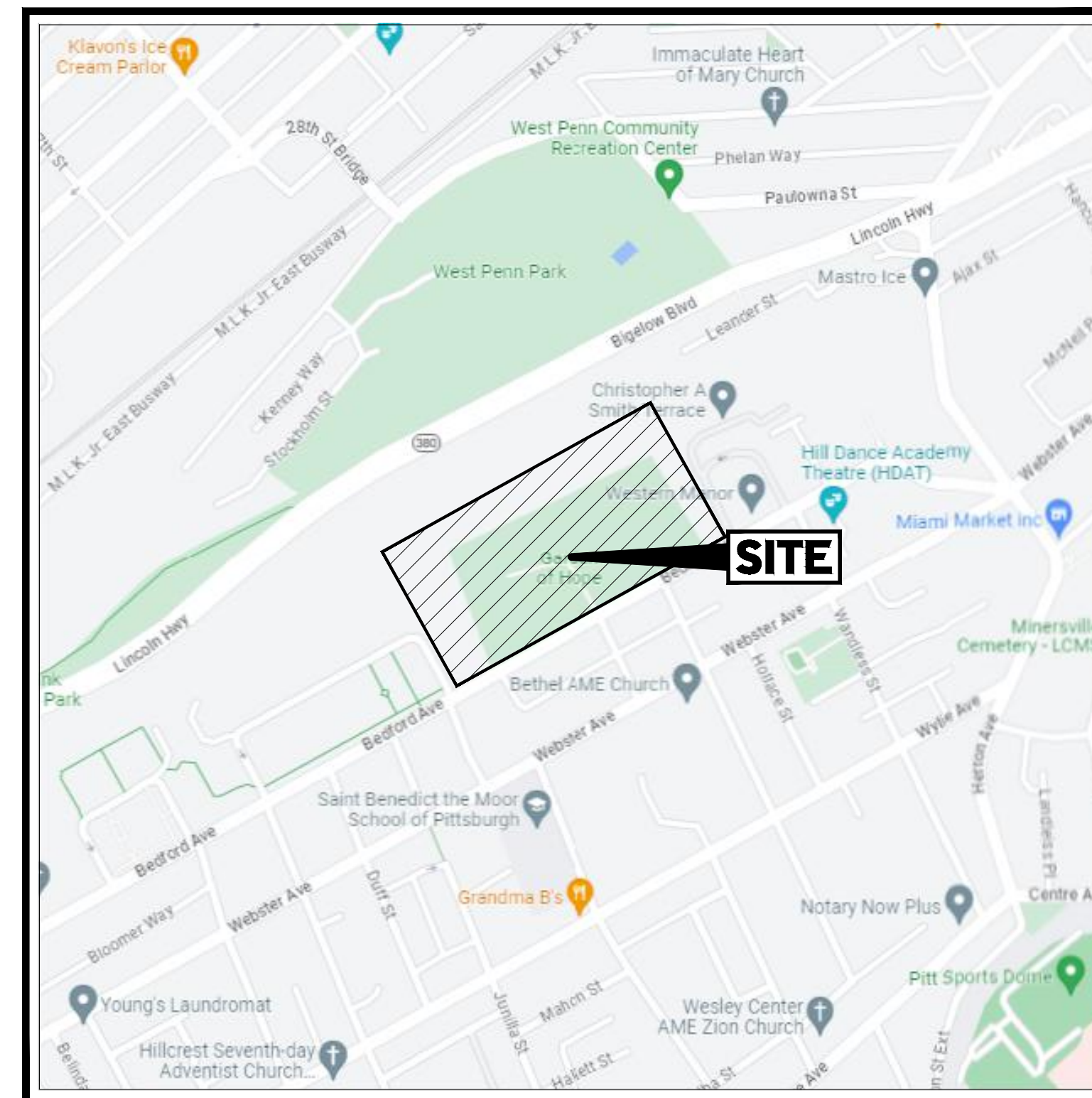
FOR
TREK DEVELOPMENT GROUP, INC.

PROPOSED BEDFORD DWELLINGS A BLOCK

LOCATION OF SITE
BEDFORD AVENUE & FRANCIS STREET, CITY OF PITTSBURGH
ALLEGHENY COUNTY, PENNSYLVANIA
PARCEL ID: 10-F-210 & 25-S-112



ZONING MAP
SCALE: NTS
SOURCE: CITY OF PITTSBURGH



LOCATION MAP
SCALE: 1" = 500'
SOURCE: GOOGLE MAPS

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
OVERALL EXISTING CONDITIONS/DEMOLITION PLAN	C-201
EXISTING CONDITIONS/DEMOLITION PLAN	C-202
OVERALL SITE PLAN	C-301
SITE PLAN	C-302
OVERALL GRADING PLAN	C-401
GRADING PLAN	C-402
ADA GRADING PLAN	C-403
OVERALL UTILITY PLAN	C-501
UTILITY PLAN	C-502
OVERALL LIGHTING PLAN	C-701
LIGHTING PLAN	C-702, C-703
LANDSCAPE NOTES AND DETAILS	C-704
DETAILS SHEET	C-901 - C-904



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1776
www.811.org
#20231151184, #20231151207

FOR PRELIMINARY
BIDDING PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: CLB
CHECKED BY: SKS
DATE: 2/7/2024
CAD ID: PAD230020.00-CNDS-2A

PROJECT:
**PRELIMINARY/
FINAL LAND
DEVELOPMENT
DRAWINGS**

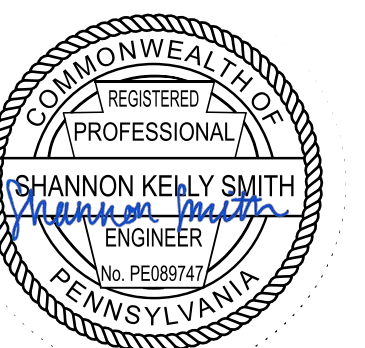
FOR
**TREK DEVELOPMENT
GROUP, INC.**

BEDFORD DWELLINGS A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112



1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500

www.BohlerEngineering.com



SHEET TITLE:

**COVER
SHEET**

SHEET NUMBER:

C-101

ORG. DATE - 2/7/2024

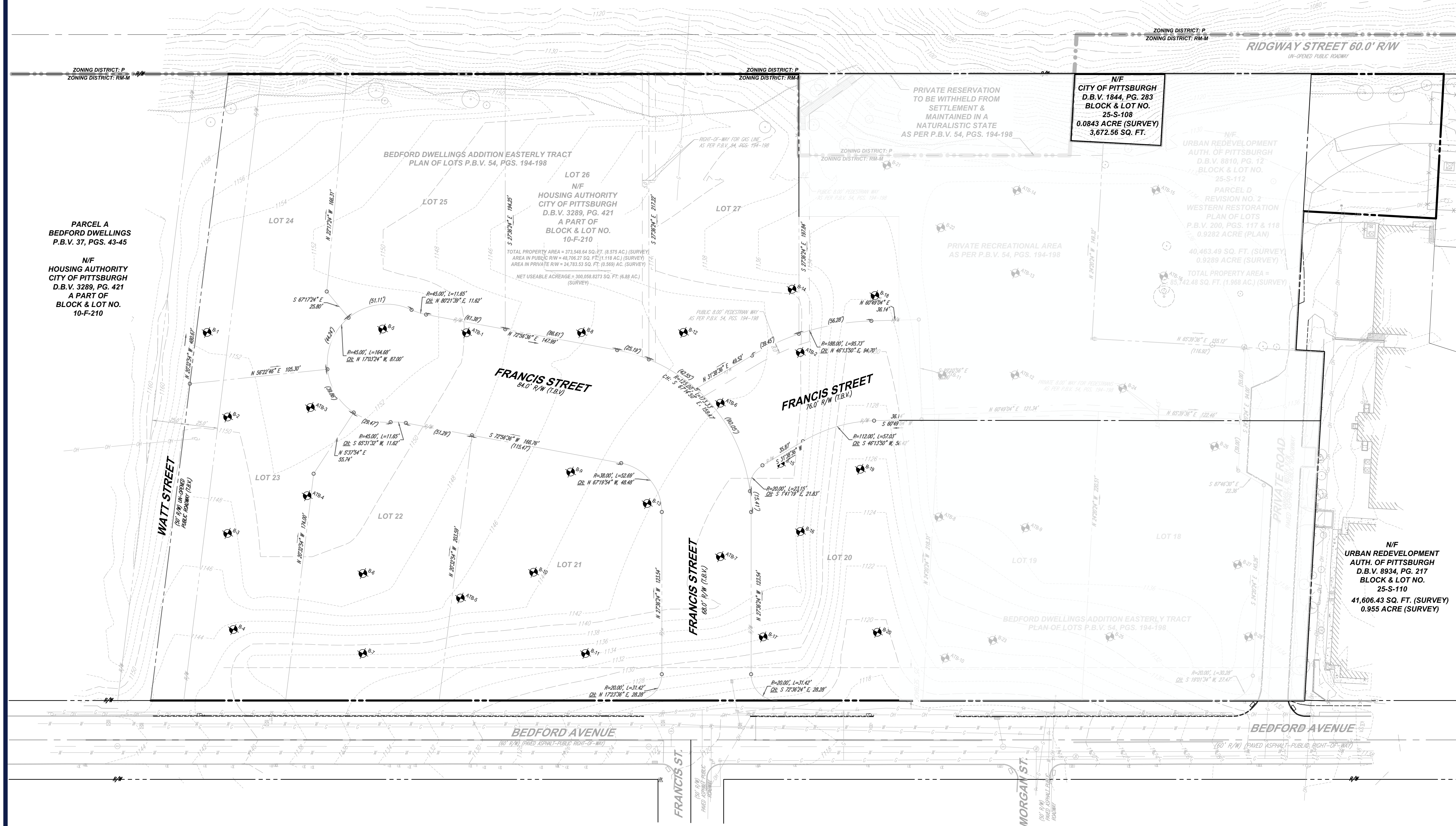
R:\2023\PA230020.00\CADD\DRAWINGS\PLAN SET\TRICHL SITE PLANS\PA230020.00-CNDS-2A...LAYOUT_C-101 COVER STE1

PREPARED BY
BOHLER //



N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160



LEGEND
EXISTING

PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
TREELINE	[Symbol]
BASIN DIVIDE	[Symbol]
BORING LOCATION	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

LEGEND
TO BE REMOVED

EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
TREELINE	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

DEMOLITION ABBREVIATIONS

ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

NOTE: REFER TO MASS EARTHWORK PLANS & GASOLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR DEMOLITION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

LPA
Landscape Architecture

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	4/15/2024	DOMI REVIEW	ASW	ECS
2	4/30/2024	PRELIM BID PACKAGE	ASW	ECS
3	6/11/2024	ARCH COORDINATION	ASW	ECS
4	8/1/2024	DOMI REVIEW	ASW	ECS

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-342-1779
www.pa.gov/811

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: ASW
DATE: 7/3/2024
CAD ID: PAD230020.00-STE-10A

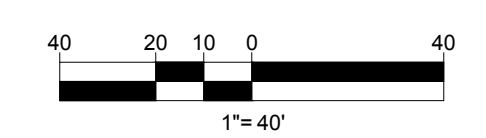
PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.
BEDFORD DWELLINGS PHASE II
A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

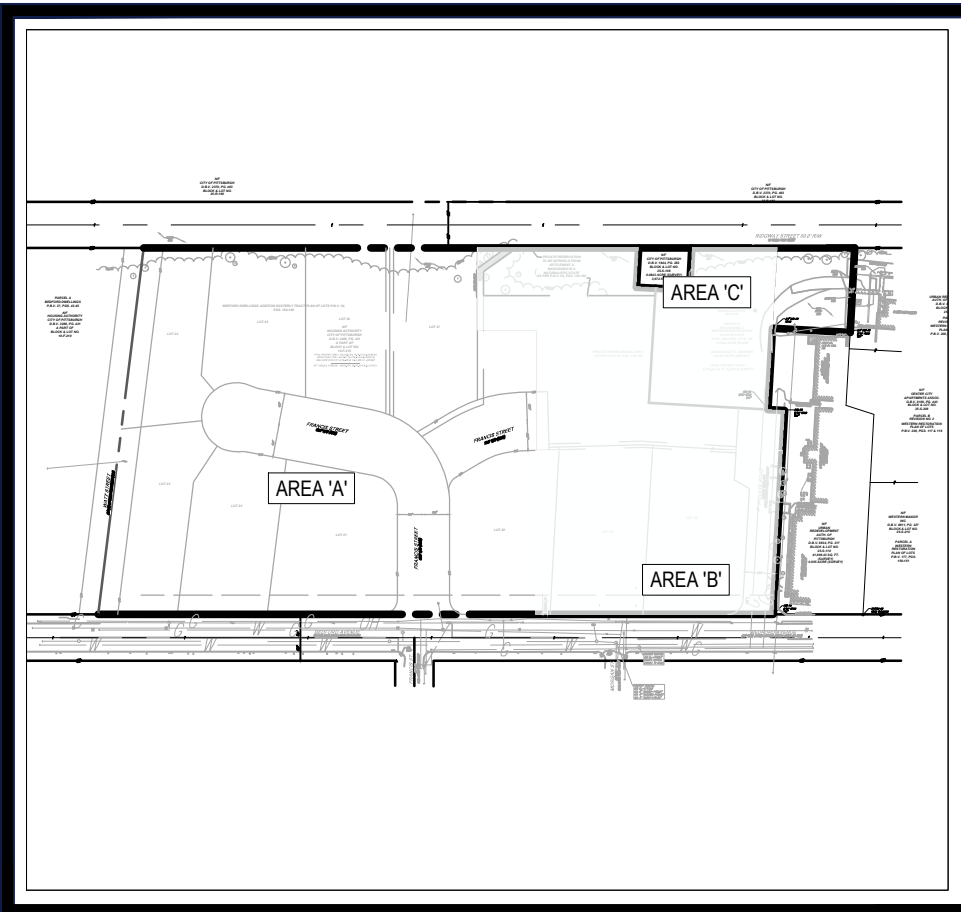
BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KEVY SMITH
ENGINEER
No. PE09874
PITTSBURGH, PA 15203

SHEET TITLE:
OVERALL EXISTING CONDITIONS/ DEMOLITION PLAN
SHEET NUMBER:
C-201A

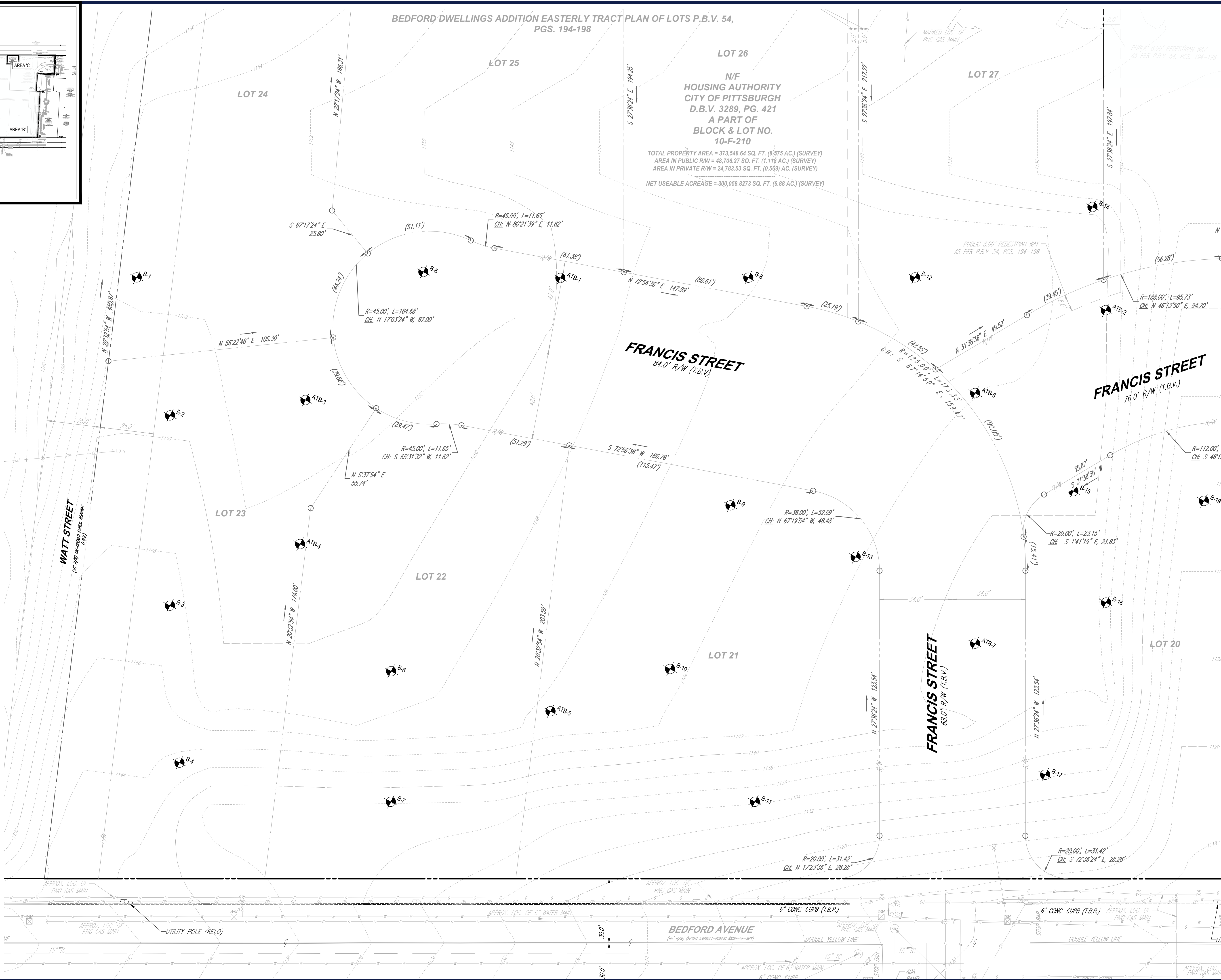


R:\2023\20230201\00\00\DRAWINGS\PLAN\NETRICAL SITE PLANS\PAD230020.00-STE-10A-LAYOUT.C-201A OVERALL DEMO

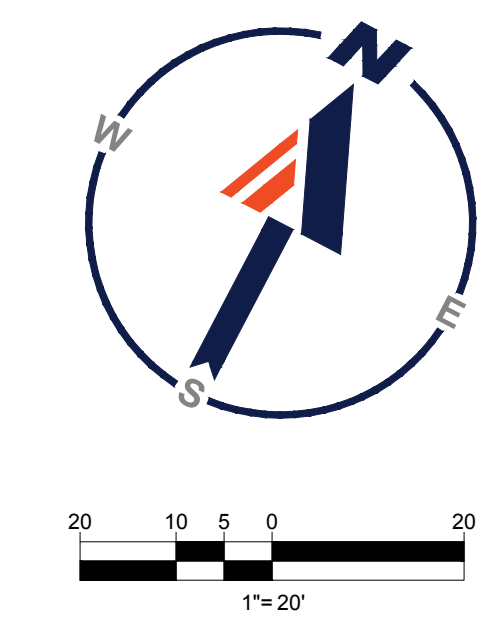


KEY MAP

SCALE: 1" = 600'



NOTE: REFER TO MASS EARTHWORK PLANS & GASOLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR DEMOLITION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

IBA
 Landscape Architecture

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	4/15/2024	DOMI REVIEW	ECS
2	4/30/2024	PRELIM BID PACKAGE	ECS
3	6/11/2024	ARCH COORDINATION	ASW
4	8/1/2024	DOMI REVIEW	ASW

811
 Know what's below.
 Call before you dig.
 PENNSYLVANIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-342-1776
 www.811.org
 #20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD23002.00
 DRAWN BY: ASW
 CHECKED BY: SKS
 DATE: 7/31/2024
 CAD ID: PAD23002.00-STE1-0A

PERMIT DRAWINGS

FOR

TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
 A BLOCK
 BEDFORD AVENUE & FRANCIS STREET
 ALLEGHENY COUNTY,
 PITTSBURGH, PA
 PARCEL ID: 10-F-210 & 25-S-112

BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 SHANNON KEELY SMITH
 ENGINEER
 No. PE098741
 PENNSYLVANIA

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-202A

R:\2023\PA23002\00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PA23002.00-STE1-0A-LAYOUT.C-202A.DWG



N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

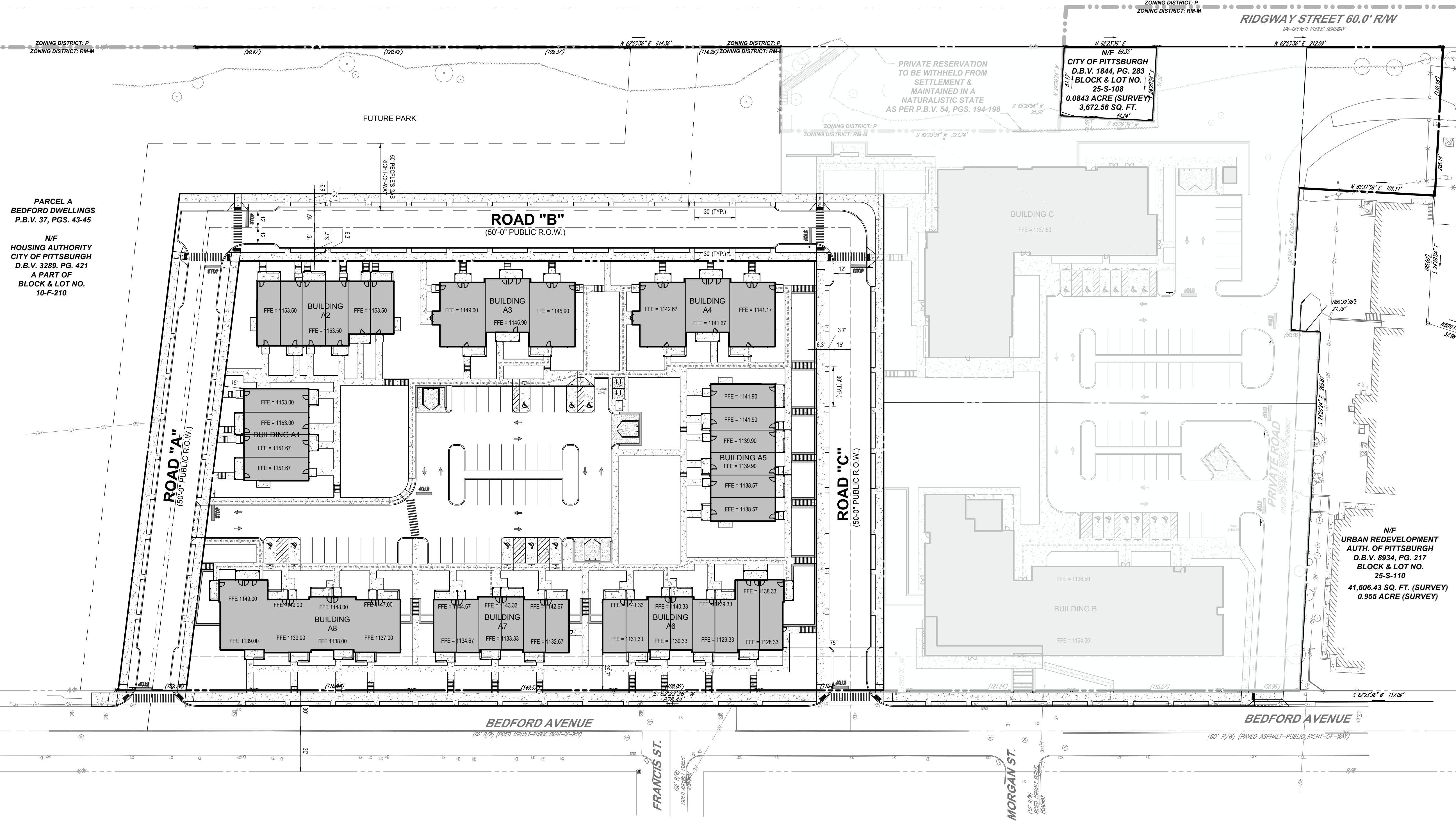
PARKING REQUIREMENTS			
ITEM	CODE	REQUIRED	PROPOSED
MIN. VEHICLE PARKING	§914.02.A	FOR SINGLE UNIT ATTACHED: 0 SPACES / UNIT FOR 2-UNIT, 3-UNIT, AND MULTI-UNIT DWELLINGS: 1 OFF-STREET SPACE / UNIT FOR SENIOR LIVING: PARKING DEMAND ANALYSIS TOTAL MIN. REQUIRED: = 18 UNITS * 0 SPACES / UNIT + 52 UNITS * 1 SPACE / UNIT = 52 SPACES	46 SPACES (OFF-STREET) 86 SPACES (ON-STREET)
MAX. VEHICLE PARKING	§914.02.A	FOR SINGLE UNIT ATTACHED: 4 SPACES / UNIT FOR 2-UNIT, 3-UNIT, AND MULTI-UNIT DWELLINGS: 2 SPACES / UNIT FOR SENIOR LIVING: PARKING DEMAND ANALYSIS TOTAL MAX. ALLOWED: = 18 UNITS * 4 SPACES / UNIT + 52 UNITS * 2 SPACES / UNIT = 176 SPACES	46 SPACES (OFF-STREET) 86 SPACES (ON-STREET)
MIN. BICYCLE PARKING	§914.05.D	FOR MULTI-RESIDENTIAL (12+ UNITS): 1 BICYCLE SPACE / 3 UNITS = 180 UNITS / 1 SPACE / 3 UNITS = 60 SPACES	60
MIN. PROTECTED BICYCLE PARKING	§914.05.D	AT LEAST 60% OF ALL BICYCLE PARKING SPACES	52

ZONING TABLE			
ZONE: RM-M (MULTI-UNIT RESIDENTIAL, MODERATE DENSITY); P (PARKS AND OPEN SPACE) USE: MULTI-FAMILY RESIDENTIAL, SENIOR LIVING			
APPLICANT/ OWNER INFORMATION			
APPLICANT:	TREK DEVELOPMENT GROUP, INC 130 SEVENTH STREET PITTSBURGH, PA 15222		
PROPERTY OWNER:	HOUSING AUTHORITY CITY OF PITTSBURGH, URBAN REDEVELOPMENT AUTH. OF PITTSBURGH, CITY OF PITTSBURGH		
BULK REQUIREMENTS (RM-M)			
ITEM	CODE	REQUIRED	PROPOSED
MIN. LOT SIZE	§903.03.C.2	3,200 SF	200,908.4 SF
MIN. LOT SIZE PER UNIT	§903.03.C.2	1,800 SF	N/A
MIN. YARD SETBACKS			
FRONT YARD	§903.03.C.2	25 FT	29.7 FT
REAR YARD	§903.03.C.2	25 FT	63.0 FT
EXTERIOR SIDE YARD	§903.03.C.2	25 FT	N/A
INTERIOR SIDE YARD	§903.03.C.2	10 FT	N/A
MAX. HEIGHT	§903.03.C.2	55 FT (4 STORIES)	TBD
VARIANCE REQUIRED			

LEGEND	
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Solid Line]
FLUSH CURB	[Dashed Line]
FENCE	[Crossed Line]
GUIDE RAIL	[Dashed Line]
TREELINE	[Wavy Line]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORMSANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]



REVISIONS			
REV	DATE	COMMENT	BY
1	4/15/2024	DOMI REVIEW	ECG
2	4/30/2024	PRELIM BID PACKAGE	ECG
3	6/11/2024	ARCH COORDINATION	ASW
4	8/1/2024	DOMI REVIEW	ASW



PARCEL A
BEDFORD DWELLINGS
P.B.V. 37, PGS. 43-45

N/F
HOUSING AUTHORITY
CITY OF PITTSBURGH
D.B.V. 3289, PG. 421
A PART OF
BLOCK & LOT NO.
10-F-210

LEGEND	
PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
CENTER LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Solid Line]
FLUSH CURB	[Dashed Line]
FENCE	[Crossed Line]
TREELINE	[Wavy Line]
ACCESSIBLE ROUTE	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CROSSWALK	[Symbol]
SIDEWALK	[Symbol]
RAMP	[Symbol]
SIGN	[Symbol]
BOLLARD	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
DRAINAGE INLET	[Symbol]
MANHOLE	[Symbol]
ENDWALL	[Symbol]
RIPRAP	[Symbol]
CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE	[Symbol]



ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: ASW
CHECKED BY: SRS
DATE: 7/3/2024
CAD ID: PAD230020.00-STE-10A

PERMIT DRAWINGS

FOR

TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
A BLOCK

BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

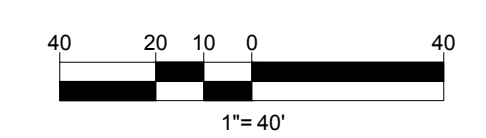
BOHLER

1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

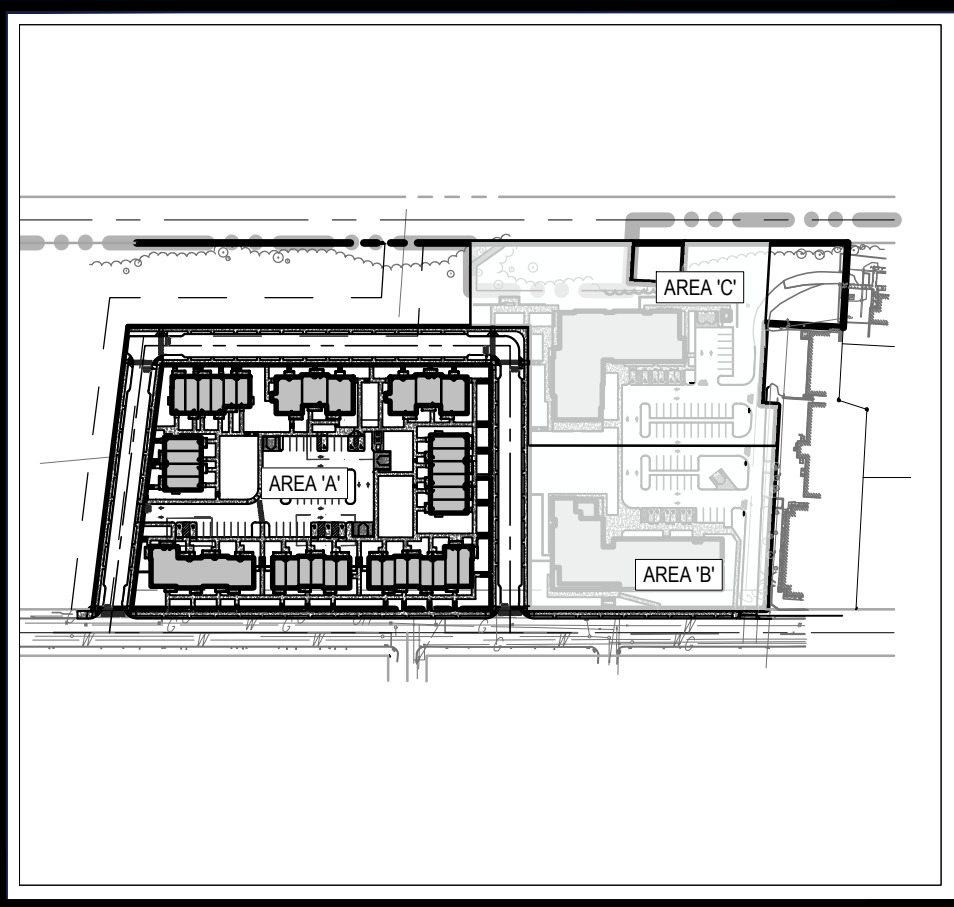


SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C-301A



R:\2023\PA230020\00\CAD\DRAWINGS\PLAN SET\TRICHTER SITE PLANS\PA230020.00-STE-10A-LAYOUT: C-301 OVERALL SITE

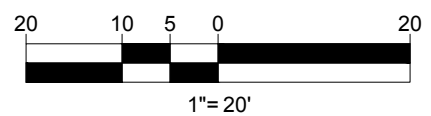


KEY MAP

SCALE: 1" = 600'

KEYNOTE LEGEND

- AS STANDARD DUTY ASPHALT PAVEMENT
- BR BIKE RACK
- BL BOLLARD
- BN SIGN MOUNTED BOLLARD
- CC TYPICAL CONCRETE CURB
- CW CONCRETE SIDEWALK
- DW TRUNCATED DOME PATTERN FOR ADA DETEC WARNING SURFACES
- FC FLUSH CURB
- HD HANDRAIL (CONFORMING TO FEDERAL ADA REQUIREMENTS)
- HP ACCESSIBLE PARKING STALL
- PA PAINTED TRAFFIC ARROW
- PE PAINTED PEDESTRIAN CROSSWALK
- RC CURB RAMP
- R REINFORCED CONCRETE PAVEMENT
- RW RETAINING WALL
- SB PAINTED STOP BAR
- S SAWCUT LINE



BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

LBA
 Landscape Architecture

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS	EEG
3	6/11/2024	ARCH COORDINATION	ASW	EEG
4	8/1/2024	DOMI REVIEW	ASW	EEG

811
 Know what's below.
 Call before you dig.
 PENNSYLVANIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-342-1779
 www.811.org
 #20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD23002.00
 DRAWN BY: ASW
 CHECKED BY: SKS
 DATE: 7/31/2024
 CAD ID: PAD23002.00-STE1-0A

PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS PHASE II
 A BLOCK**
 BEDFORD AVENUE & FRANCIS STREET
 ALLEGHENY COUNTY,
 PITTSBURGH, PA
 PARCEL ID: 10-F-210 & 25-S-112

BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 SHANNON KEELY SMITH
 ENGINEER
 No. PE098747
 PENNSYLVANIA

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-302A

R:\2023\PA23002\00\CADD\DRAWINGS\PLAN SET\SITE\PA23002.00-STE1-0A-LAYOUT.C-302.SITE



N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

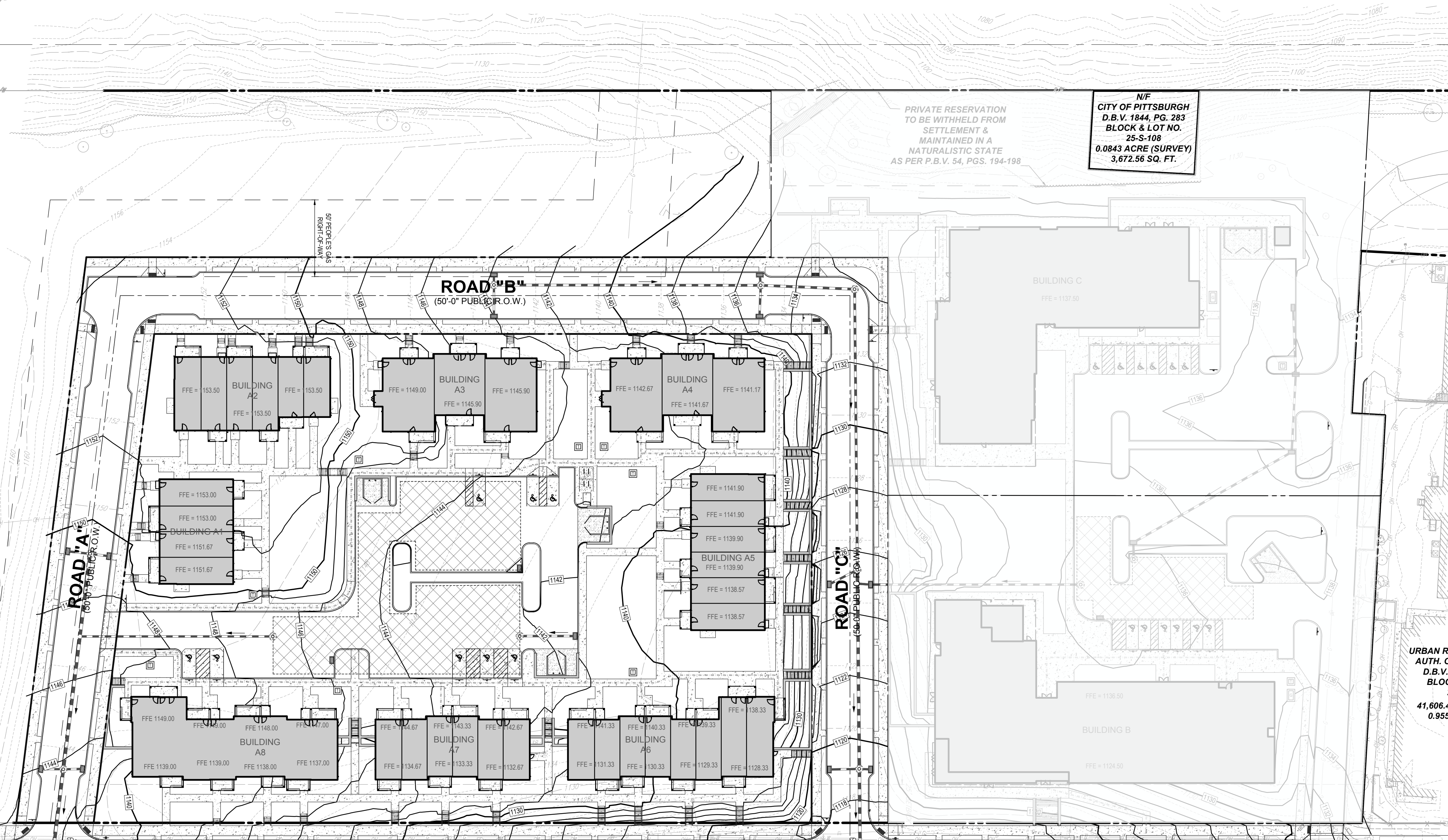
N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

PARCEL A
BEDFORD DWELLINGS
P.B.V. 37, PGS. 43-45

N/F
HOUSING AUTHORITY
CITY OF PITTSBURGH
D.B.V. 3288, PG. 421
A PART OF
BLOCK & LOT NO.
10-F-210

PRIVATE RESERVATION
TO BE WITHHELD FROM
SETTLEMENT &
MAINTAINED IN A
NATURALISTIC STATE
AS PER P.B.V. 54, PGS. 194-198

N/F
CITY OF PITTSBURGH
D.B.V. 1844, PG. 283
BLOCK & LOT NO.
25-S-108
0.0843 ACRE (SURVEY)
3,672.56 SQ. FT.

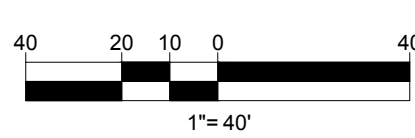


URBAN R/
AUTH. O
D.B.V. BLOC
41,606.4
0.955

LEGEND	
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dashed Line]
FENCE	[Crossed Line]
GUIDE RAIL	[Wavy Line]
TREELINE	[Dashed Line]
BASIN DIVIDE	[Dashed Line]
BORING LOCATION	[Circle with Cross]
ACCESSIBLE SYMBOL	[Square with Circle]
CONCRETE MONUMENT/ IRON PIN	[Square]
SIGN	[Circle]
PARKING COUNT	[T]
AREA LIGHT	[Square]
TREE	[Circle]
DRAINAGE INLET	[Circle with Arrow]
STORM/SANITARY MANHOLE	[Circle with X]
WATER/GAS VALVES	[Circle with X]
ROOF DRAIN/CLEANOUT	[Circle with X]
FIRE HYDRANT	[Circle with X]
UTILITY POLE W/ LIGHT	[Circle with X]
UTILITY POLE	[Circle]
OVERHEAD UTILITY WIRES	[Line with X]
ELECTRIC LINE	[Line with X]
TELEPHONE LINE	[Line with X]
GAS LINE	[Line with X]
WATER LINE	[Line with X]
SANITARY SEWER	[Line with X]
STORM PIPE	[Line with X]

LEGEND	
PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dashed Line]
FENCE	[Crossed Line]
GUIDE RAIL	[Wavy Line]
TREELINE	[Dashed Line]
ACCESSIBLE SYMBOL	[Square with Circle]
CROSSWALK	[Vertical Lines]
SIDEWALK	[Dashed Line]
RAMP	[Line with Arrow]
SIGN	[Circle]
BOLLARD	[Circle]
PARKING COUNT	[T]
AREA LIGHT	[Square]
DRAINAGE INLET	[Circle with Arrow]
MANHOLE	[Circle with X]
ENDWALL	[Line with Arrow]
RIPRAP	[Dashed Line]
CLEANOUT	[Circle with X]
FIRE HYDRANT	[Circle with X]
UTILITY POLE	[Circle]
OVERHEAD UTILITY WIRES	[Line with X]
ELECTRIC LINE	[Line with X]
TELEPHONE LINE	[Line with X]
GAS LINE	[Line with X]
WATER LINE	[Line with X]
SANITARY SEWER	[Line with X]
STORM PIPE	[Line with X]
SPOT ELEVATION	[Circle]

NOTE: REFER TO MASS EARTHWORK PLANS & GASOLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR DEMOLITION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

LPA
Landscape Architecture
95 South 10th Street
Pittsburgh, PA 15203

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS
			EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS
			EEG
3	6/11/2024	ARCH COORDINATION	ASW
			EEG
4	8/1/2024	DOMI REVIEW	ASW
			EEG

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-342-1776
www.811.org
#20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: ASW
CHECKED BY: SKS
DATE: 7/3/2024
CAD ID: PAD230020.00-STE-10A

PERMIT DRAWINGS

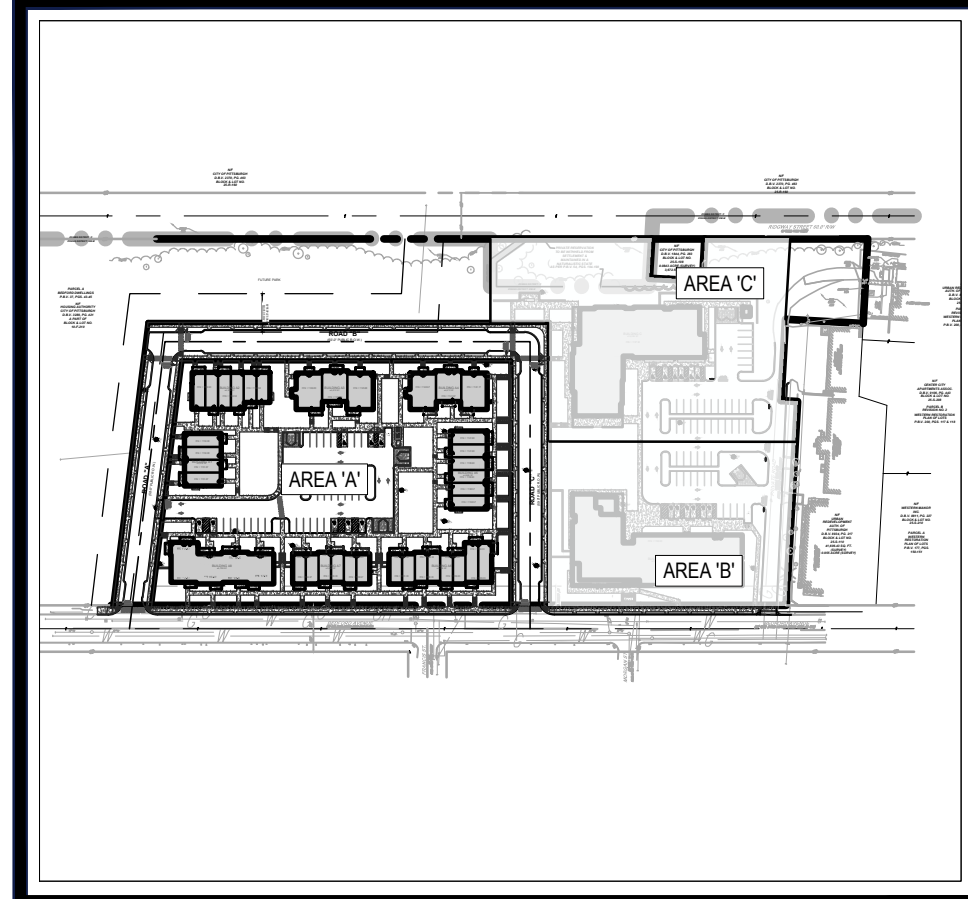
FOR _____
TREK DEVELOPMENT GROUP, INC.
BEDFORD DWELLINGS PHASE II
A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

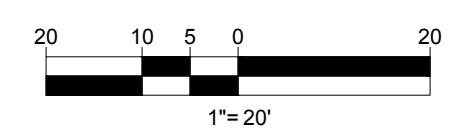
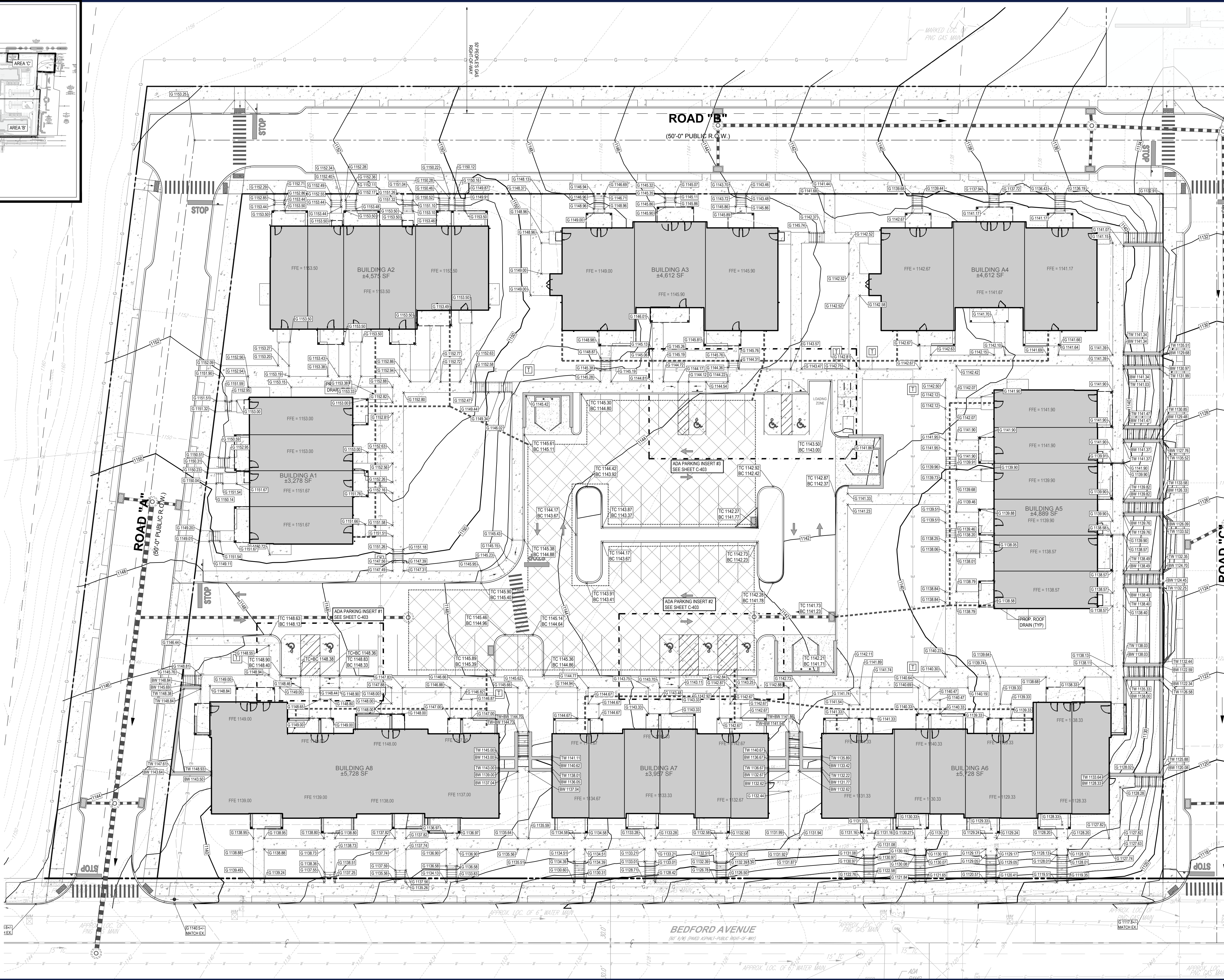
COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KEHLY SMITH
No. PE098747
PITTSBURGH, PA

SHEET TITLE:
OVERALL GRADING PLAN

SHEET NUMBER:
C-401A



KEY MAP
SCALE: 1" = 600'



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES



REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS
2	4/30/2024	PRELIM BID PACKAGE	ECS
3	6/11/2024	ARCH COORDINATION	ASW
4	8/1/2024	DOMI REVIEW	ASW

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1779
www.811.org
#20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

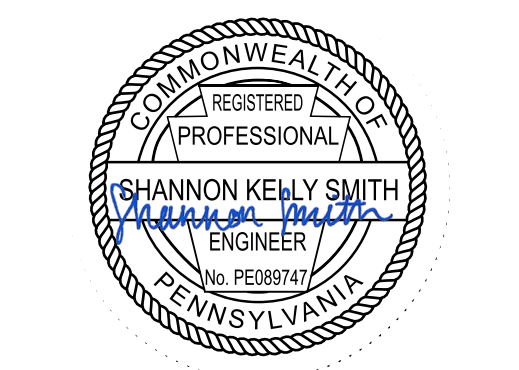
PROJECT No.: PAD230020.00
DRAWN BY: ASW
DATE: 7/3/2024
CHECKED BY: SSK
CAD ID: PAD230020.00-STE-10A

PROJECT:
PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

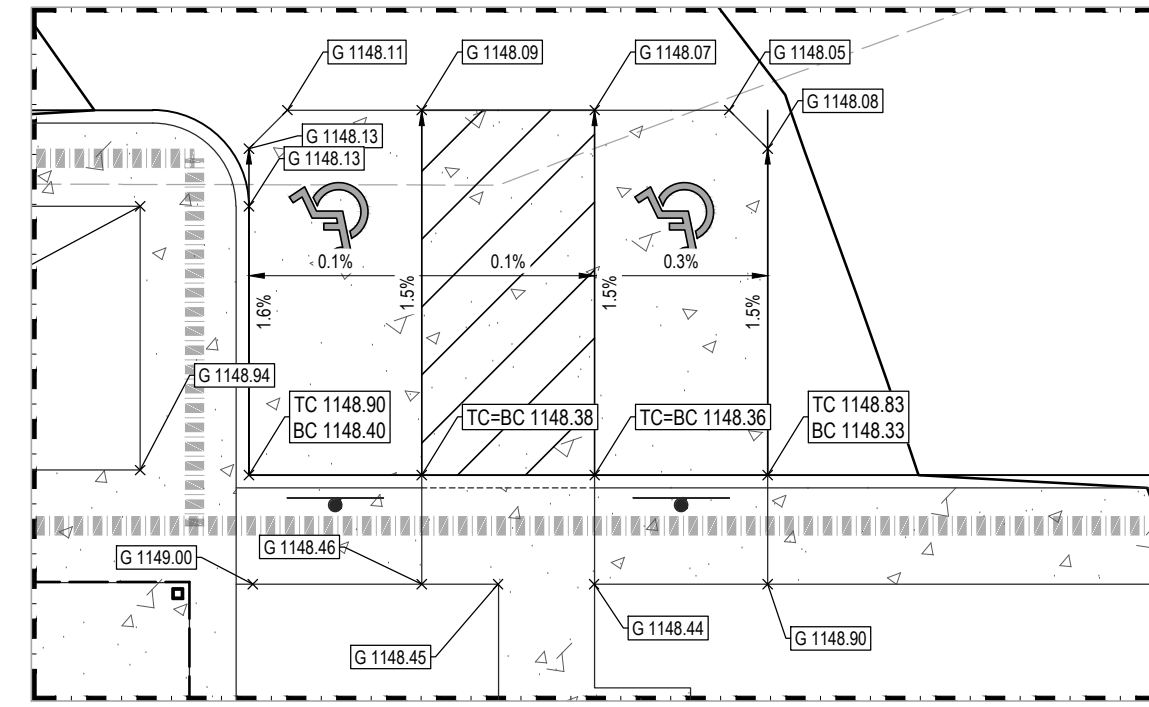
BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com



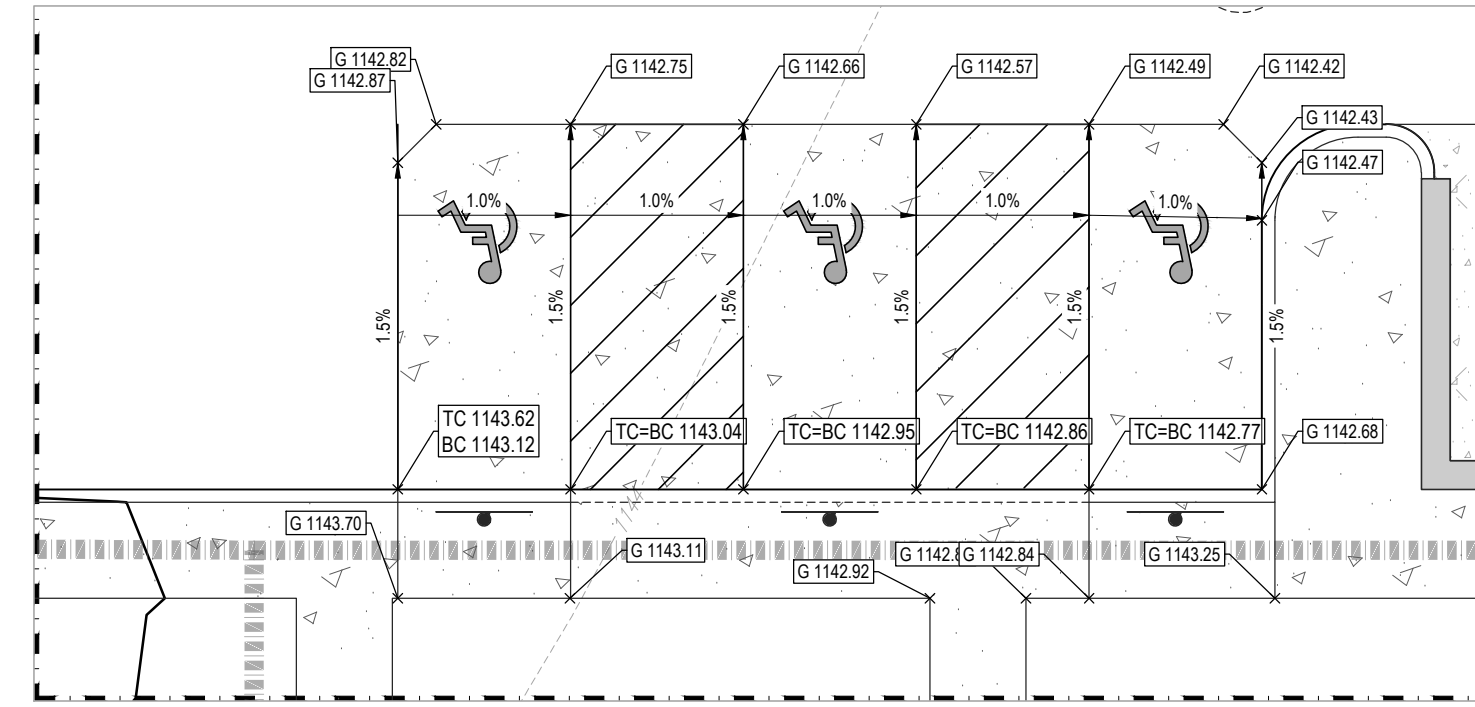
SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C-402A

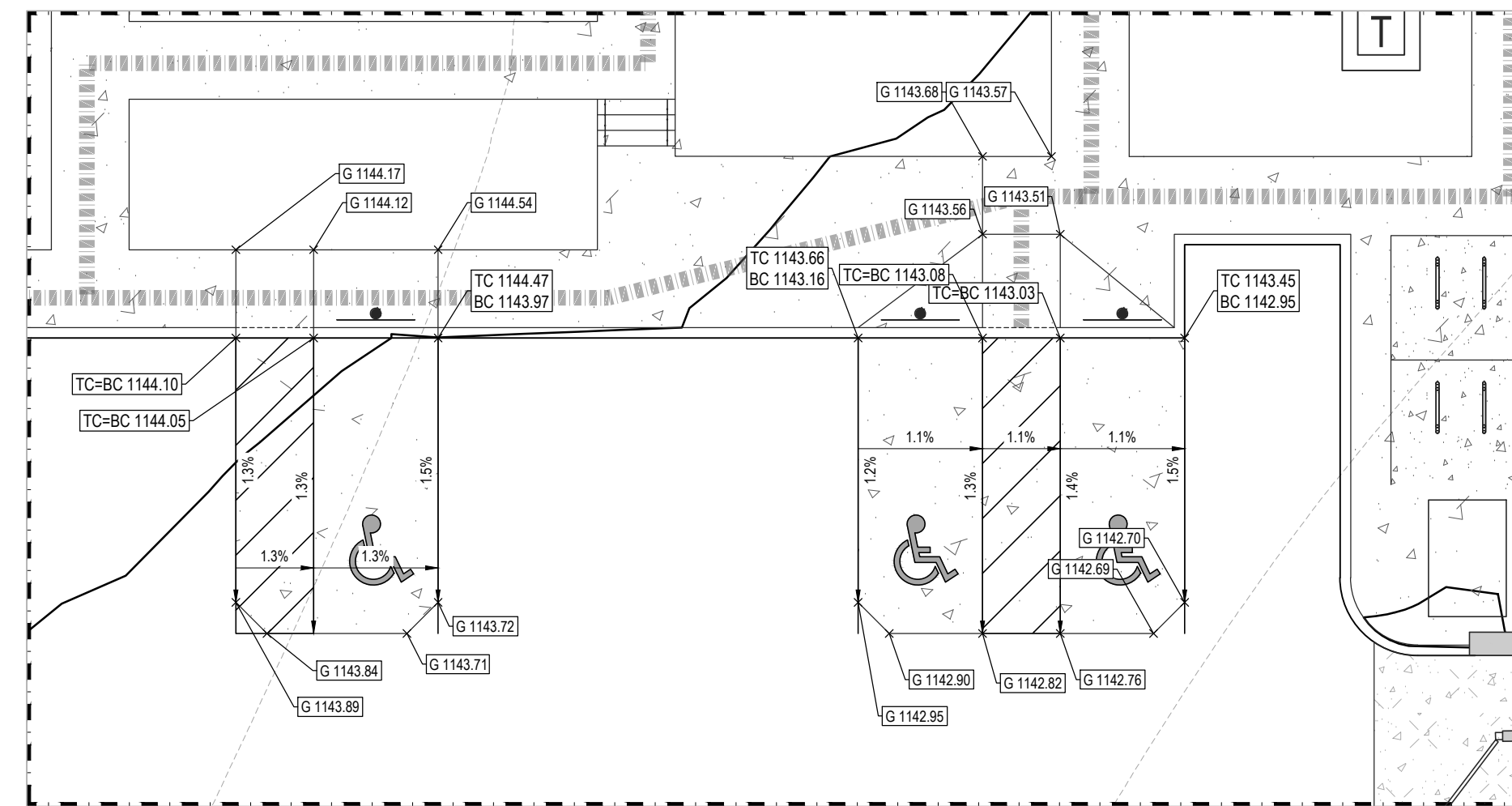
R:\2023\PA230020\00\CADD\DRAWINGS\PLAN\SECT\SITE PLANS\PA230020.00-STE-10A-LAYOUT-C-402.GRD



ADA PARKING INSET #1



ADA PARKING INSET #2



ADA PARKING INSET #3

LEGEND	
PROPOSED	
PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
TREELINE	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CROSSWALK	[Symbol]
SIDEWALK	[Symbol]
RAMP	[Symbol]
SIGN	[Symbol]
BOLLARD	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
DRAINAGE INLET	[Symbol]
MANHOLE	[Symbol]
ENDWALL	[Symbol]
RIPRAP	[Symbol]
CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]
SPOT ELEVATION	[Symbol]

LEGEND	
EXISTING	
PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Symbol]
RETAINING WALL	[Symbol]
CONCRETE CURB	[Symbol]
FLUSH CURB	[Symbol]
FENCE	[Symbol]
GUIDE RAIL	[Symbol]
TREELINE	[Symbol]
BASIN DIVIDE	[Symbol]
BORING LOCATION	[Symbol]
ACCESSIBLE SYMBOL	[Symbol]
CONCRETE MONUMENT/ IRON PIN	[Symbol]
SIGN	[Symbol]
PARKING COUNT	[Symbol]
AREA LIGHT	[Symbol]
TREE	[Symbol]
DRAINAGE INLET	[Symbol]
STORM/SANITARY MANHOLE	[Symbol]
WATER/GAS VALVES	[Symbol]
ROOF DRAIN/CLEANOUT	[Symbol]
FIRE HYDRANT	[Symbol]
UTILITY POLE W/ LIGHT	[Symbol]
UTILITY POLE	[Symbol]
OVERHEAD UTILITY WIRES	[Symbol]
ELECTRIC LINE	[Symbol]
TELEPHONE LINE	[Symbol]
GAS LINE	[Symbol]
WATER LINE	[Symbol]
SANITARY SEWER	[Symbol]
STORM PIPE	[Symbol]

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 TRANSPORTATION SERVICES

LPA
 Landscape Architecture

REVISIONS

REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	4/15/2024	DOMI REVIEW	ECS	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS	EEG
3	6/11/2024	ARCH COORDINATION	ASW	EEG
4	8/1/2024	DOMI REVIEW	ASW	EEG

811
 Know what's below.
 Call before you dig.
 PENNSYLVANIA
 YOU MUST CALL 811 BEFORE ANY EXCAVATION
 WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
 1-800-342-1776
 www.811.org
 #20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
 DRAWN BY: ASW
 CHECKED BY: SKS
 DATE: 7/31/2024
 CAD ID: PAD230020.00-STE1-0A

PROJECT:
PERMIT DRAWINGS

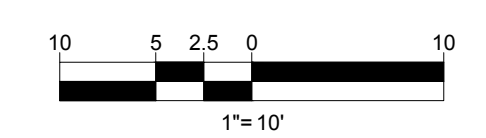
FOR
TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
 A BLOCK
 BEDFORD AVENUE & FRANCIS STREET
 ALLEGHENY COUNTY,
 PITTSBURGH, PA
 PARCEL ID: 10-F-210 & 25-S-112

BOHLER
 1 ALLEGHENY SQUARE, SUITE 402
 PITTSBURGH, PA 15212
 Phone: (724) 638-8500
 www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
 REGISTERED PROFESSIONAL ENGINEER
 SHANNON KEHLY SMITH
 ENGINEER
 No. PE09874
 PENNSYLVANIA

SHEET TITLE:
ADA PARKING GRADING INSETS
 SHEET NUMBER:
C-403A





N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

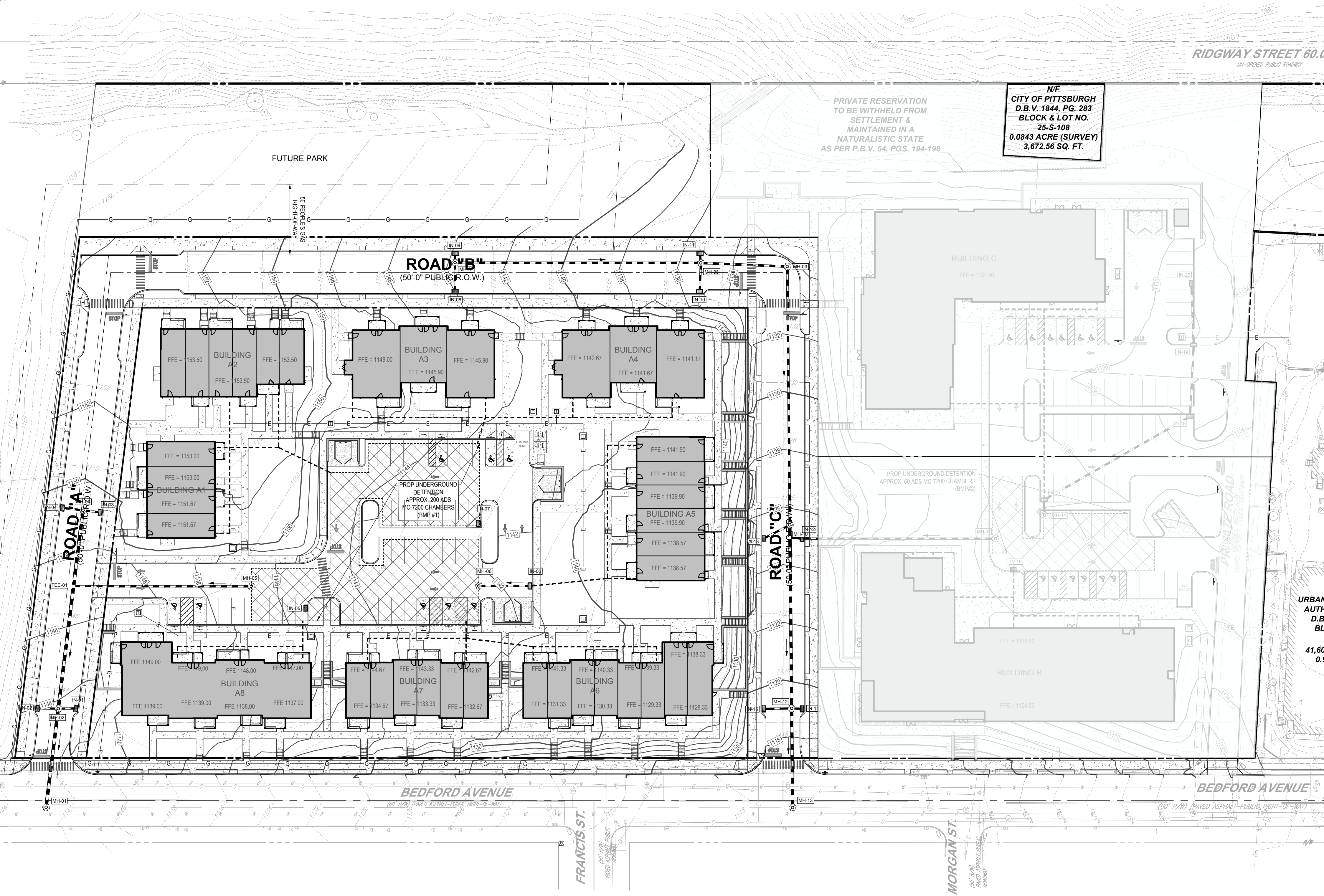
N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

PARCEL A
BEDFORD DWELLINGS
P.B.V. 37, PGS. 43-45

N/F
HOUSING AUTHORITY
CITY OF PITTSBURGH
D.B.V. 3289, PG. 421
A PART OF
BLOCK & LOT NO.
10-F-210

N/F
CITY OF PITTSBURGH
D.B.V. 1844, PG. 283
BLOCK & LOT NO.
25-S-108
0.0843 ACRE (SURVEY)
3,672.56 SQ. FT.

PRIVATE RESERVATION
TO BE WITHHELD FROM
SETTLEMENT &
MAINTAINED IN A
NATURALISTIC STATE
AS PER P.B.V. 54, PGS. 194-198



LEGEND

EXISTING

PROPERTY LINE	---
R.O.W. LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dotted Line]
FENCE	[Crossed Line]
GUIDE RAIL	[Wavy Line]
TREELINE	[Wavy Line]
ACCESSIBLE SYMBOL	[Wheelchair Icon]
CONCRETE MONUMENT/ IRON PIN	[Circle with Cross]
SIGN	[Square with X]
PARKING COUNT	[Circle with P]
AREA LIGHT	[Circle with A]
TREE	[Circle with D]
DRAINAGE INLET	[Circle with I]
STORMSANITARY MANHOLE	[Circle with M]
WATER/GAS VALVES	[Circle with V]
ROOF DRAIN/CLEANOUT	[Circle with R]
FIRE HYDRANT	[Circle with H]
UTILITY POLE W/ LIGHT	[Circle with P]
UTILITY POLE	[Circle with U]

LEGEND

PROPOSED

PROPERTY LINE	---
R.O.W. LINE	---
EASEMENT LINE	---
SETBACK LINE	---
LEASE LINE	---
BUILDING	[Hatched Box]
RETAINING WALL	[Hatched Line]
CONCRETE CURB	[Dashed Line]
FLUSH CURB	[Dotted Line]
FENCE	[Crossed Line]
GUIDE RAIL	[Wavy Line]
TREELINE	[Wavy Line]
ACCESSIBLE SYMBOL	[Wheelchair Icon]
CROSSWALK	[Striped Area]
SIDEWALK	[Dotted Area]
RAMP	[Trapezoid]
SIGN	[Square with X]
BOLLARD	[Circle with B]
PARKING COUNT	[Circle with P]
AREA LIGHT	[Circle with A]
DRAINAGE INLET	[Circle with I]
MANHOLE	[Circle with M]
ENDWALL	[Circle with E]
RIPRAP	[Cross-hatched Area]
CLEANOUT	[Circle with C]
FIRE HYDRANT	[Circle with H]
UTILITY POLE	[Circle with U]
OVERHEAD UTILITY WIRES	[Line with OH]
ELECTRIC LINE	[Line with E]
TELEPHONE LINE	[Line with T]
GAS LINE	[Line with G]
WATER LINE	[Line with W]
SANITARY SEWER	[Line with S]
STORM PIPE	[Line with S]
SPOT ELEVATION	[Circle with Elevation]

NOTE: REFER TO PWSA TAP/TERMINATION PLANS PREPARED BY SCI-TEK CONSULTANTS, INC. FOR WATER, SANITARY, AND STORM SEWER TAP/TERMINATION INFORMATION.

NOTE: REFER GASLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR GAS LINE INSTALLATION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.

URBAN RI
AUTH. C
D.B.V. BLOC
41,606.4
0.955



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	4/15/2024	DOMI REVIEW	EC	EC
2	4/30/2024	PRELIM BID PACKAGE	EC	EC
3	6/11/2024	ARCH COORDINATION	ASW	EC
4	8/1/2024	DOMI REVIEW	ASW	EC



ISSUED FOR PERMIT

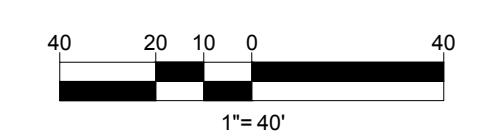
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: ASW
CHECKED BY: SRS
DATE: 7/31/2024
CAD ID: PAD230020.00-STE-10A

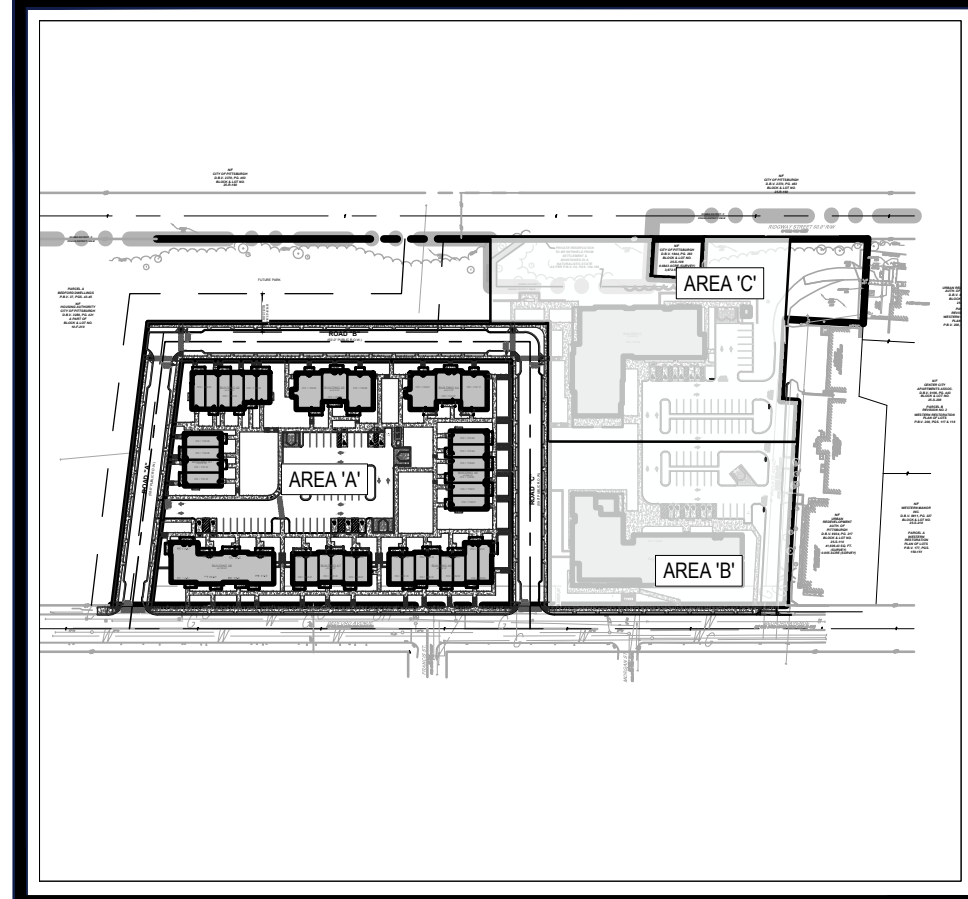
PROJECT:
PERMIT DRAWINGS
FOR
TREK DEVELOPMENT GROUP, INC.
BEDFORD DWELLINGS PHASE II
A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112



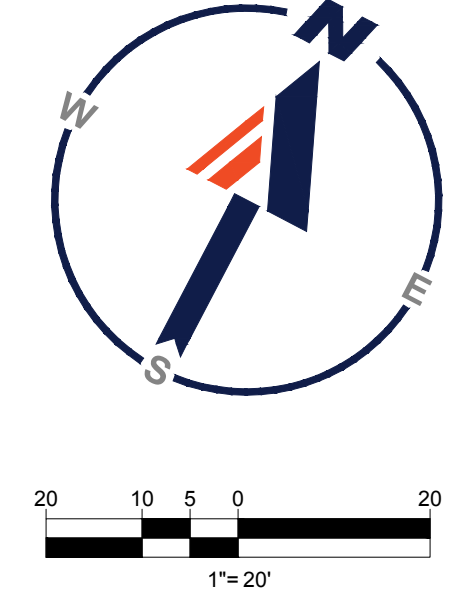
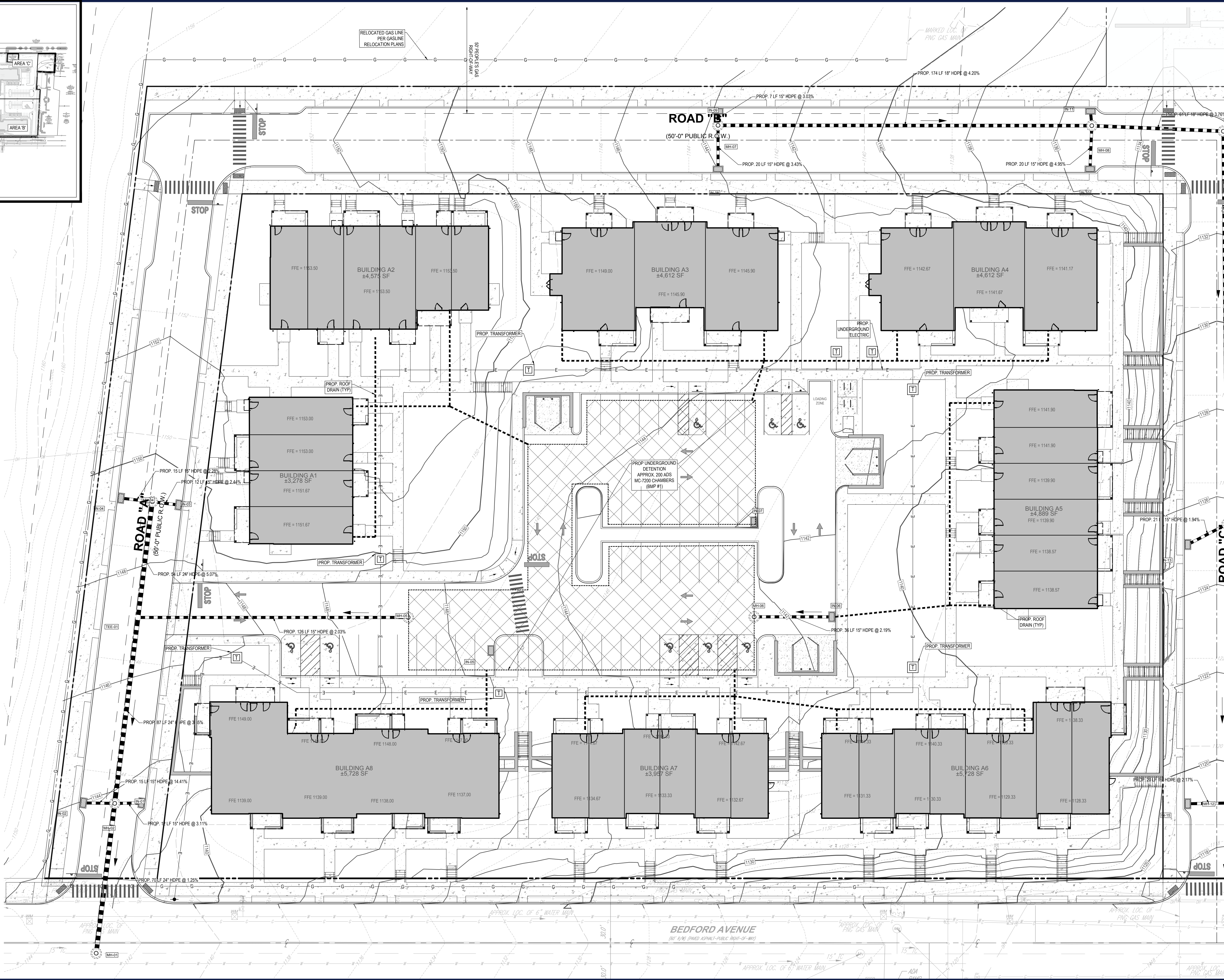
SHEET TITLE:
OVERALL UTILITY PLAN
SHEET NUMBER:
C-501A



R:\2023\PA\230020.00\CAD\DRAWINGS\PLAN SET\TRM\10 SITE PLAN\10-STE-10A-LAYOUT.C-091 OVERALL UTIL.



KEY MAP
SCALE: 1" = 600'



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

LBA
Landscape Architecture
95 South 10th Street
Pittsburgh, PA 15203

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	4/15/2024	DOMI REVIEW	ECS
2	4/30/2024	PRELIM BID PACKAGE	ECS
3	6/11/2024	ARCH COORDINATION	ASW
4	8/1/2024	DOMI REVIEW	ASW

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1776
www.811.org
#20231151184, #20231151207

ISSUED FOR PERMIT
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD23002.00
DRAWN BY: ASW
DATE: 7/3/2024
CAD ID: PAD23002.00-STE1-0A

PROJECT:
PERMIT DRAWINGS
FOR
TREK DEVELOPMENT GROUP, INC.
BEDFORD DWELLINGS PHASE II
A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KELLY SMITH
No. PE09874
PITTSBURGH, PA

SHEET TITLE:
UTILITY PLAN
SHEET NUMBER:
C-502A

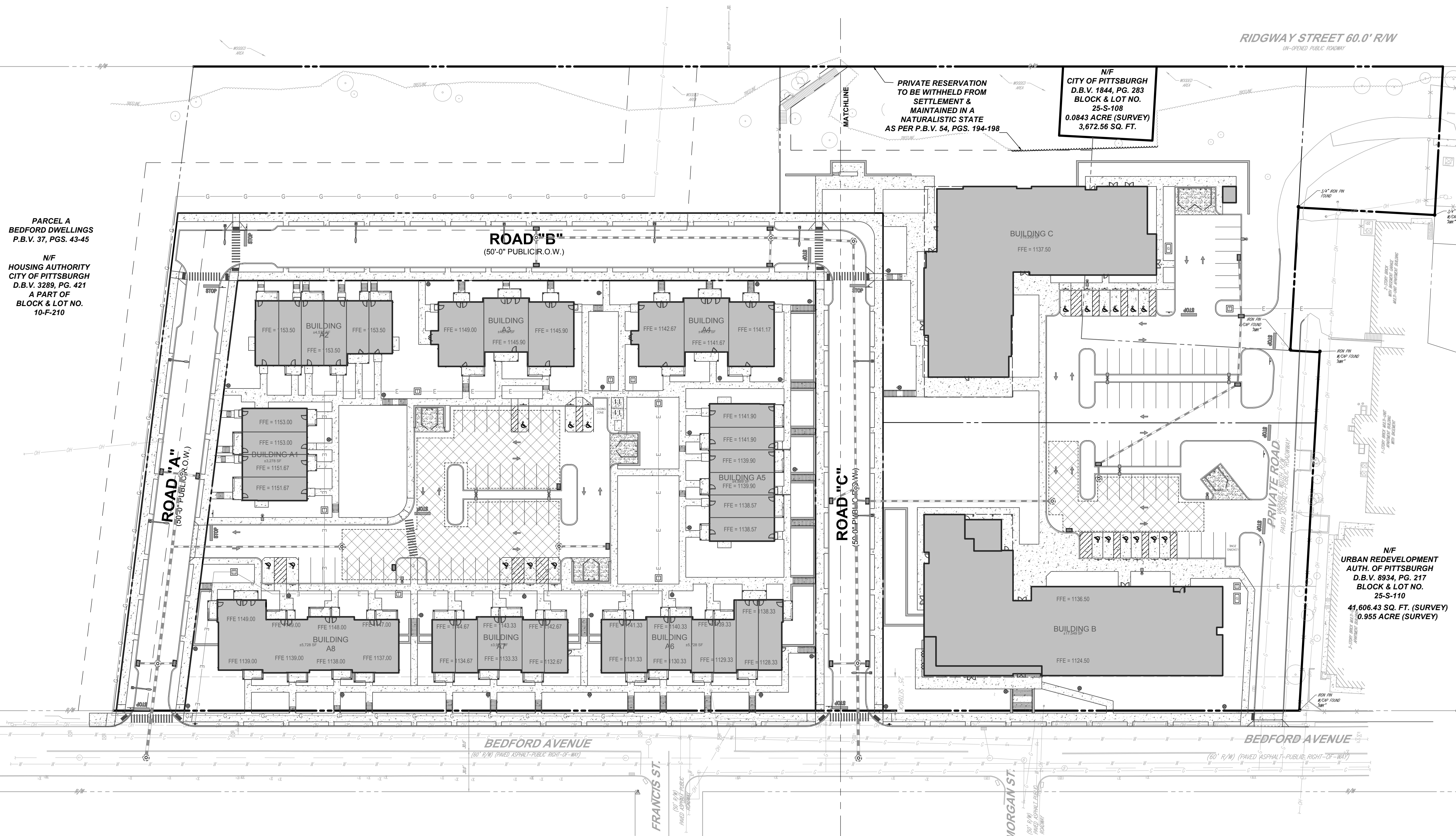
R:\2023\PA23002\00\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\PA23002.00-STE1-0A-LAYOUT.C-502A.DWG



N/F
CITY OF PITTSBURGH
D.B.V. 2370, PG. 463
BLOCK & LOT NO.
25-R-160

PARCEL A
BEDFORD DWELLINGS
P.B.V. 37, PGS. 43-45

N/F
HOUSING AUTHORITY
CITY OF PITTSBURGH
D.B.V. 3289, PG. 421
A PART OF
BLOCK & LOT NO.
10-F-210



PRIVATE RESERVATION
TO BE WITHHELD FROM
SETTLEMENT &
MAINTAINED IN A
NATURALISTIC STATE
AS PER P.B.V. 54, PGS. 194-198

N/F
CITY OF PITTSBURGH
D.B.V. 1844, PG. 283
BLOCK & LOT NO.
25-S-108
0.0843 ACRE (SURVEY)
3,672.56 SQ. FT.

RIDGWAY STREET 60.0' R/W
UN-OPENED PUBLIC ROADWAY

N/F
URBAN REDEVELOPMENT
AUTH. OF PITTSBURGH
D.B.V. 8934, PG. 217
BLOCK & LOT NO.
25-S-110
41,606.43 SQ. FT. (SURVEY)
0.955 ACRE (SURVEY)

GENERAL LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELES (FC).
- THE LUMINAIRES LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80/88 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.



REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS
2	4/30/2024	PRELIM BID PACKAGE	ECS
3	6/11/2024	ARCH COORDINATION	ASW
4	8/1/2024	DOMI REVIEW	ASW

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1776
www.811pa.org
#20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDING AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

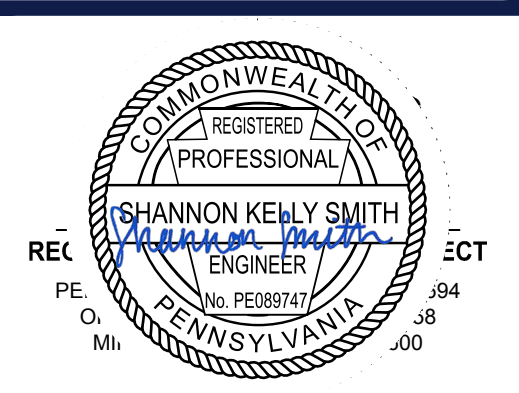
PROJECT No.: PAD230020.00
DRAWN BY: ASW
CHECKED BY: SKS
DATE: 7/31/2024
CAD LID: PAD230020.00-LLGT-2B

PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.

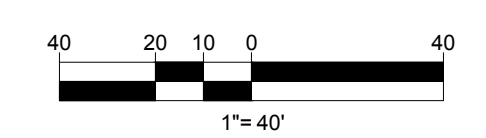
BEDFORD DWELLINGS PHASE II
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com



OVERALL LIGHTING PLAN

SHEET NUMBER:
C-701



R:\2023\25-R-160\25-R-160-001\DRAWINGS\PLAN SET\TRM\25-R-160-001-LLGT-2B.dwg - LAYOUT: C-701 OVERALL LIGHT

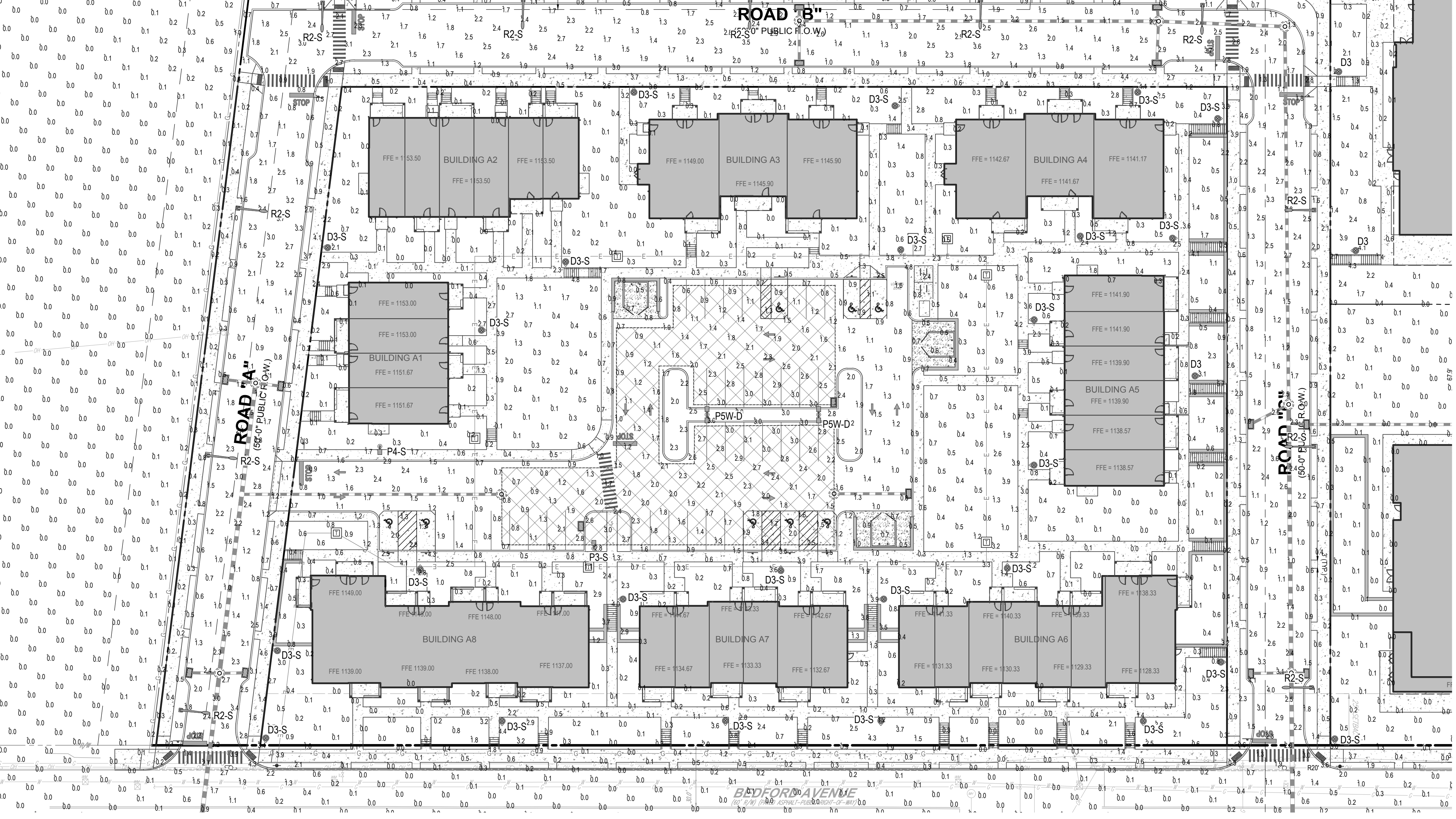


PARCELA
BEDFORD DWELLINGS
P.B.V. 37, PGS. 43-45
N/F
HOUSING AUTHORITY
CITY OF PITTSBURGH
D.B.V. 3289, PG. 4210
A PART OF
BLOCK & LOT NO.
10-F-210

PRIVATE RESERVATION
TO BE WITHHELD FROM
SETTLEMENT &
MAINTAINED IN A
NATURALISTIC STATE
AS PER P.B.V. 54, PGS. 194-

GENERAL LIGHTING NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLAN'S SPECIFIC NOTES.
2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND REPLACING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS. UNLESS OTHERWISE NOTED, LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE. HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.



LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE	FOUNDATION
D3	3	14'-0" AFG	SINGLE	4646	0.900	STERNBERG LIGHTING, M1660 MEDIUM MILLENA POST TOP LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-w)	STERBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-8KT)	16
D3-S	28	14'-0" AFG	SINGLE	3232	0.900	STERNBERG LIGHTING, M1660 MEDIUM MILLENA POST TOP LUMINAIRE, TYPE 3 WITH BACK LIGHT OPTICAL CONTROL, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-BCLOC)	STERBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-8KT)	16
P3-S	4	20'-0" AFG	SINGLE	7197	0.900	GARCCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-3-x-HS)	GARCCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D1-DT5)	13
P4-S	2	20'-0" AFG	SINGLE	7412	0.900	GARCCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-4-x-HS)	GARCCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D1-DT5)	13
P5W-D	5	20'-0" AFG	BACK-BACK	9395	0.900	GARCCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-5W-x)	GARCCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D2-DT5)	13
R2-S	11	20'-0" AFG	SINGLE	8395	0.900	AMERICAN ELECTRIC LIGHTING BY ACUTY, AUTOBAHNSERIES AT80 ROADWAY LED LUMINAIRE, TYPE 2 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (AT80-P203-x-R2-3K-x-HSS)	HOLOPHANE BY ACUTY, ANCHOR BASE POLEMOUNTING ARM COMBO, 20' NOMINAL LENGTH WITH 6' ARM (FRTSU-20-59B-SMP-US6-HG-BCV-TRF)	16

CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	Fc	0.18	5.2	0.0	N.A.	N.A.
SIDEWALKS	ILLUMINANCE	Fc	1.16	5.4	0.0	N.A.	N.A.
EAST PARKING	ILLUMINANCE	Fc	1.83	3.2	0.5	3.66	6.40
WEST PARKING	ILLUMINANCE	Fc	1.64	3.5	0.5	3.28	7.00
NEW DEDICATED ROADS	ILLUMINANCE	Fc	1.91	4.1	0.6	3.18	6.83

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

IBA
Landscape Architecture

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS EEG
3	6/11/2024	ARCH COORDINATION	ASW EEG
4	8/1/2024	DOMI REVIEW	ASW EEG

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1779
www.811pa.org
#20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PAD230020.00
DRAWN BY:	ASW
CHECKED BY:	SKS
DATE:	7/31/2024
CAD ID:	PAD230020.00-LLGT-2B

PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

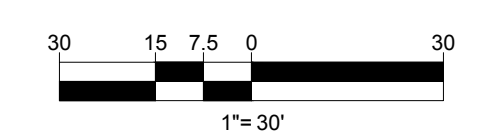
BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KELLY SMITH
No. PE08974
PENNSYLVANIA

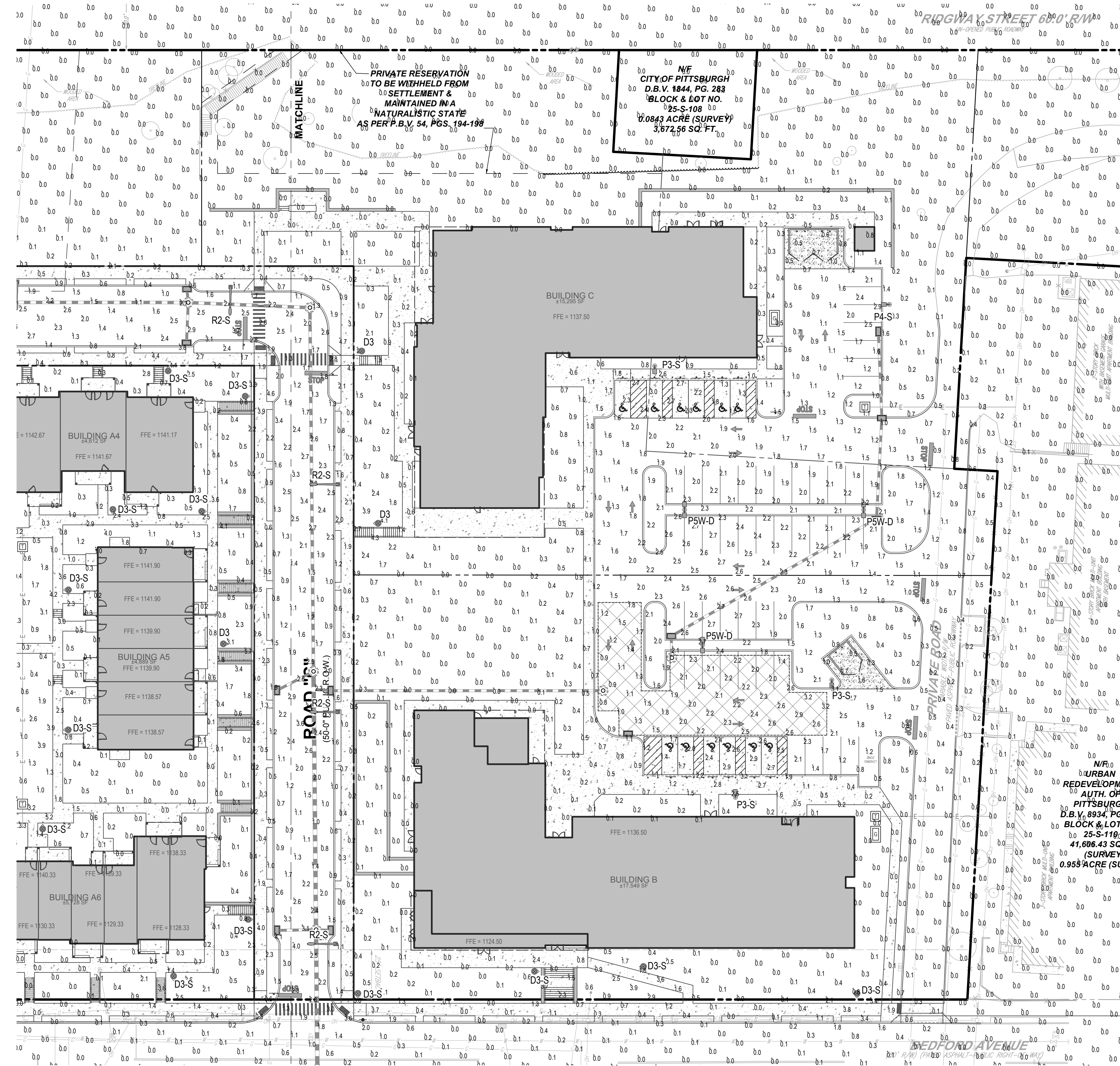
SHEET TITLE:

LIGHTING PLAN

SHEET NUMBER:
C-702



R:\2023\20230201\00\CAD\DRAWINGS\PLAN\RETRICAL SITE PLANS\PLAN PAD230020.00-LLGT-2B.dwg LAYOUT: C-702 LIGHT A



GENERAL LIGHTING NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDELS (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES AND RELAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNERS.
- THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS. UNLESS OTHERWISE NOTED, LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE. HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE	FOUNDATION
D3	3	14'-0" AFG	SINGLE	4666	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENA POST TOP LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PT-AL660-12L-30-T3-MDL018-SV1-4)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-8KT)	146
D3-S	28	14'-0" AFG	SINGLE	3232	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENA POST TOP LUMINAIRE, TYPE 3 WITH BACK LIGHT OPTICAL CONTROL, ZERO UP-LIGHT (PT-AL660-12L-30-T3-MDL018-SV1-8L0C-x)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-8KT)	146
P3-S	4	20'-0" AFG	SINGLE	7197	0.900	GARDOCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-x-HIS)	GARDOCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D1-DT5)	143
P4-S	2	20'-0" AFG	SINGLE	7412	0.900	GARDOCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-x-HIS)	GARDOCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D1-DT5)	143
P5-W	5	20'-0" AFG	BACK-BACK	9395	0.900	GARDOCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-SW-x)	GARDOCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17-5-D2-DT5)	143
R2-S	11	20'-0" AFG	SINGLE	8395	0.900	AMERICAN ELECTRIC LIGHTING BY ACUITY, AUTOBAHNSERIES AT80 ROADWAY LED LUMINAIRE, TYPE 2 WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (AT80-P203-x-R2-3K-x-HSS)	HOLOPHANE BY ACUITY, ANCHOR BASE POLEMOUNTING ARM COMBO, 20' NOMINAL LENGTH WITH 6' ARM (FRTSU-20-598-SMP-US6-HG-BCV-TRF)	146

CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	Fc	0.18	5.2	0.0	N.A.	N.A.
SIDEWALKS	ILLUMINANCE	Fc	1.16	5.4	0.0	N.A.	N.A.
EAST PARKING	ILLUMINANCE	Fc	1.83	3.2	0.5	3.66	6.40
WEST PARKING	ILLUMINANCE	Fc	1.64	3.5	0.5	3.28	7.00
NEW DEDICATED ROADS	ILLUMINANCE	Fc	1.91	4.1	0.6	3.18	6.83

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

IBA
Landscape Architecture
95 South 10th Street
Pittsburgh, PA 15203

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS	EEG
3	6/11/2024	ARCH COORDINATION	ASW	EEG
4	8/1/2024	DOMI REVIEW	ASW	EEG

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1779
www.811.org
#20231151184, #20231151207

ISSUED FOR PERMIT

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	PAD230020.00
CHECKED BY:	ASW
DATE:	7/31/2024
CAD ID:	PAD230020.00-LLGT-2B

PERMIT DRAWINGS

FOR
TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

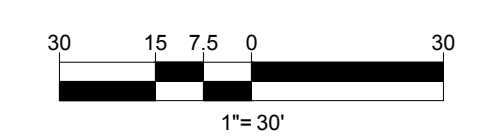
BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KELLY SMITH
No. PE09874
J04
J08
J00

SHEET TITLE:

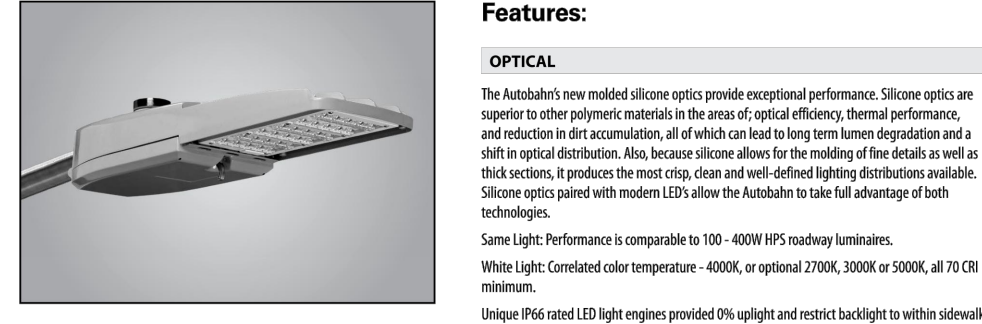
LIGHTING PLAN

SHEET NUMBER:
C-703



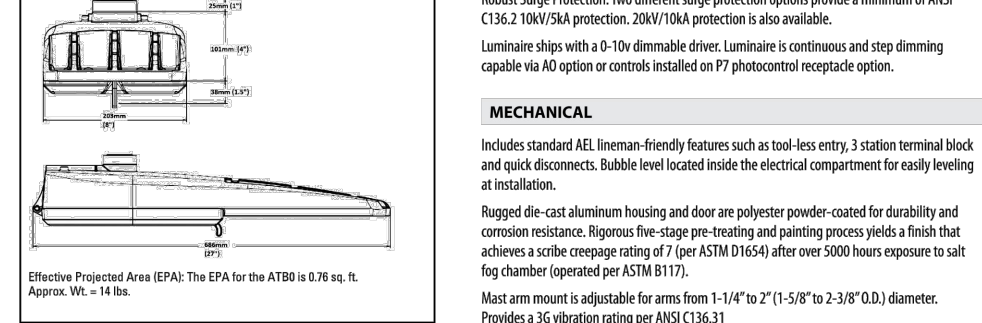
R:\2023\20230201\00\CAD\DRAWINGS\PLAN\RETRICAL SITE PLANS\230201\00-LLGT-2B.dwg - LAYOUT: C-703 LIGHT B

PRODUCT OVERVIEW



Features:
OPTICAL
 The Autobahn Series road luminaire options provide exceptional performance. Silicone optics are superior to other polycarbonate materials in the area of optical efficiency, thermal performance, and reduction in dirt accumulation, all of which can lead to long term lumen degradation and a shift in optical distribution. Also, because silicone allows for the molding of clear, as well as a shift in optical distribution, this luminaire allows for the molding of clear, as well as a shift in optical distribution. Silicone optics provide the most clear, clean and well-defined lighting distributions available. Silicone optics paired with modern LED allow the Autobahn to take full advantage of such technologies.

ELECTRICAL
 Expected life: LED light engines are rated to 100,000 hours at 25°C (77°F). Electronic driver has an expected life of 100,000 hours at 25°C ambient.
 Lowest Energy: Save on operational electricity with compact high efficiency LEDs.
 Robust Surge Protection: Two different surge protection options provide a minimum of ANSI C136.1 1000V surge protection. 200V/100A protection is available.
 Luminaire design with a 30 degree beam angle. Luminaire is available with and without a dimming capability via a 0-10Vdc or remote installed on a photocontrol compatible.



MECHANICAL
 Includes standard AEI, IES-compliant features such as tool-less entry, 3 station terminal block and quick disconnects. Robust level base inside the electrical compartment for easy leveling at installation.
 Rugged die-cast aluminum housing and door and zinc-plated powder-coated for durability and corrosion resistance. Rugged frame supports mounting hardware and provides a finish that achieves a color change rating of 1 per ASTM D1545 after over 2000 hours exposure to salt fog chamber (per ASTM B117).
 Mount arm mount is adjustable to allow from 1/4" to 1 1/4" to 1 3/4" to 2" to 3" O.D. diameter. Provides 3G vibration ratings per ANSI B13.1.

CONTROLS
 MEMA 3 pin photocontrol receptacle is standard, with the Acuity designed ANSI standard 3 pin receptacle optionally available.
 Premium solid state lighting photocontrol - PCS-10 (10 year rated life) Extends long life solid state lighting photocontrol - PCS-10 (10 year rated life).
 Operates almost all digital dimming methods: allows for light output and heat management to be modified to meet site specific requirements, and also allow a single fixture to be readily applied in many different applications.

©2014 Acuity Brands Lighting, Inc. ATB0 Rev. 04/16/24

ORDERING INFORMATION

Order	LED Distribution Package	Mount	Notes
2000	F201 1.5M lumens nominal F202 4.5M lumens nominal F203 12.0M lumens nominal F204 16.0M lumens nominal F205 12.0M lumens nominal F206 12.0M lumens nominal F207 12.0M lumens nominal	P01 12.0M lumens nominal P02 16.0M lumens nominal P03 20.0M lumens nominal P04 20.0M lumens nominal P05 20.0M lumens nominal P06 20.0M lumens nominal P07 20.0M lumens nominal	8007 8007-100 8007 8007-100 8007 8007-100 8007 8007-100 8007 8007-100 8007 8007-100 8007 8007-100

Notes:
 1 Not available in 30" or 48"
 2 Not available in 30"
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

PERFORMANCE PACKAGE

ATB0	Distribution	Height (ft)	2200K		3000K		4000/5000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
F201	R2	30	4,862	137	5,477	155	6,480	180
	R3	45	4,862	137	5,477	155	6,480	180
	R4	60	4,862	137	5,477	155	6,480	180

Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

PERFORMANCE PACKAGE

ATB0	LED 90° 20°					
	50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours
F201	0.90	0.95	0.98	0.92	0.97	0.99
F202	0.90	0.95	0.98	0.92	0.97	0.99
F203	0.90	0.95	0.98	0.92	0.97	0.99
F204	0.90	0.95	0.98	0.92	0.97	0.99
F205	0.90	0.95	0.98	0.92	0.97	0.99
F206	0.90	0.95	0.98	0.92	0.97	0.99
F207	0.90	0.95	0.98	0.92	0.97	0.99
F208	0.90	0.95	0.98	0.92	0.97	0.99
F209	0.90	0.95	0.98	0.92	0.97	0.99
F210	0.90	0.95	0.98	0.92	0.97	0.99
F211	0.90	0.95	0.98	0.92	0.97	0.99
F212	0.90	0.95	0.98	0.92	0.97	0.99
F213	0.90	0.95	0.98	0.92	0.97	0.99
F214	0.90	0.95	0.98	0.92	0.97	0.99
F215	0.90	0.95	0.98	0.92	0.97	0.99
F216	0.90	0.95	0.98	0.92	0.97	0.99
F217	0.90	0.95	0.98	0.92	0.97	0.99
F218	0.90	0.95	0.98	0.92	0.97	0.99
F219	0.90	0.95	0.98	0.92	0.97	0.99
F220	0.90	0.95	0.98	0.92	0.97	0.99

* Also includes any custom (non-catalog) CCT

Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

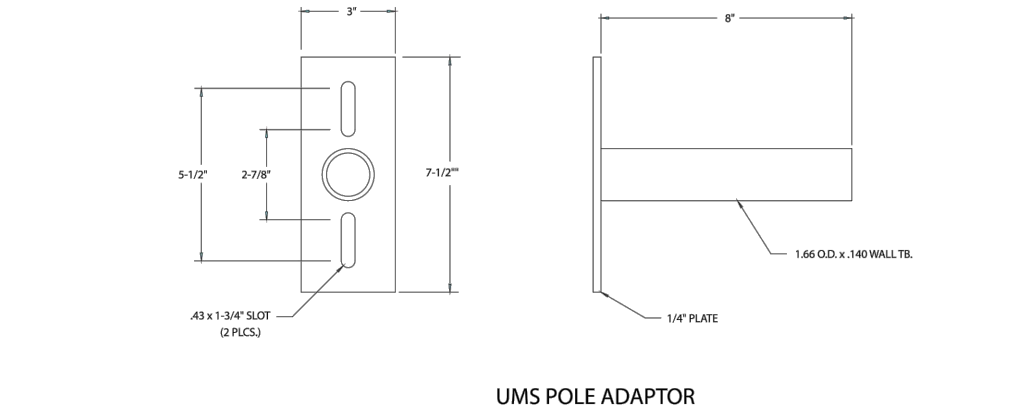
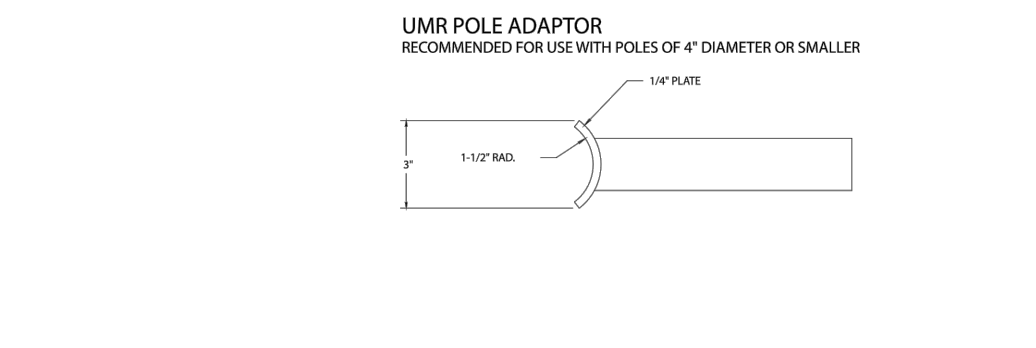
B.U.G. Ratings

ATB0	Distribution	7000K			3000K			4000/5000K		
		B	U	G	B	U	G	B	U	G
F201	R2	1	0	1	2	0	2	1	0	1
	R3	1	0	1	2	0	2	1	0	1
	R4	1	0	1	2	0	2	1	0	1

Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

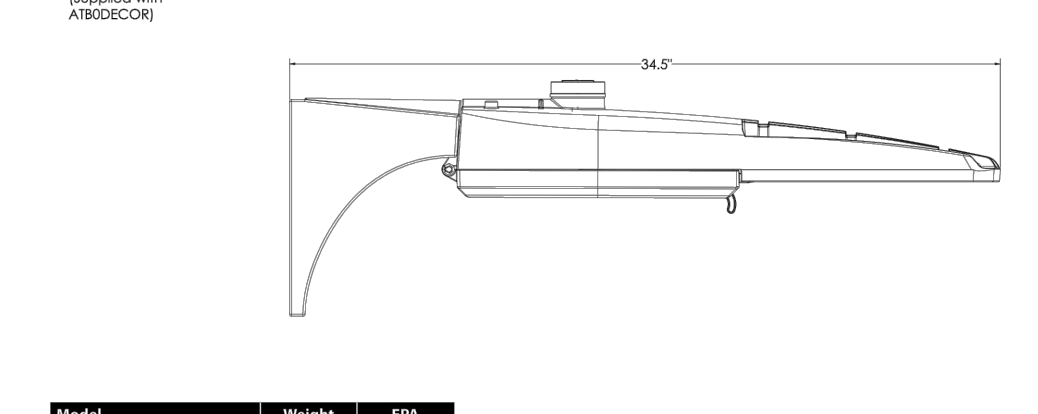
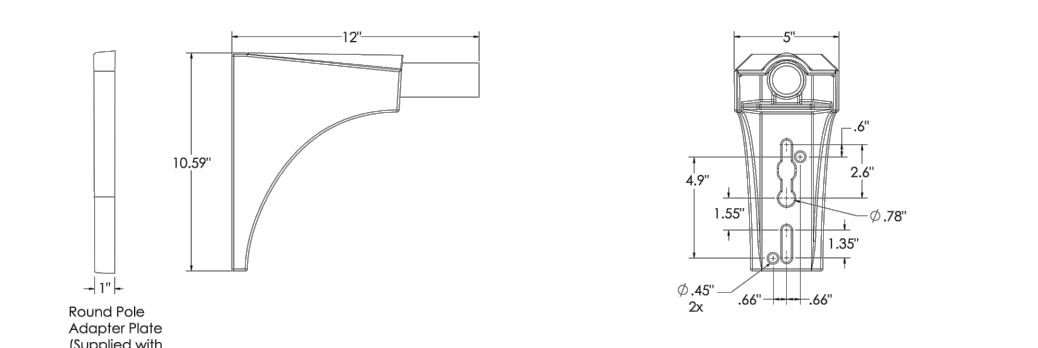
UMR POLE ADAPTOR



Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

UMR POLE ADAPTOR



Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

UMR POLE ADAPTOR



Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

PERFORMANCE PACKAGE

ATB0	LED 90° 20°					
	50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours
F201	0.90	0.95	0.98	0.92	0.97	0.99
F202	0.90	0.95	0.98	0.92	0.97	0.99
F203	0.90	0.95	0.98	0.92	0.97	0.99
F204	0.90	0.95	0.98	0.92	0.97	0.99
F205	0.90	0.95	0.98	0.92	0.97	0.99
F206	0.90	0.95	0.98	0.92	0.97	0.99
F207	0.90	0.95	0.98	0.92	0.97	0.99
F208	0.90	0.95	0.98	0.92	0.97	0.99
F209	0.90	0.95	0.98	0.92	0.97	0.99
F210	0.90	0.95	0.98	0.92	0.97	0.99
F211	0.90	0.95	0.98	0.92	0.97	0.99
F212	0.90	0.95	0.98	0.92	0.97	0.99
F213	0.90	0.95	0.98	0.92	0.97	0.99
F214	0.90	0.95	0.98	0.92	0.97	0.99
F215	0.90	0.95	0.98	0.92	0.97	0.99
F216	0.90	0.95	0.98	0.92	0.97	0.99
F217	0.90	0.95	0.98	0.92	0.97	0.99
F218	0.90	0.95	0.98	0.92	0.97	0.99
F219	0.90	0.95	0.98	0.92	0.97	0.99
F220	0.90	0.95	0.98	0.92	0.97	0.99

* Also includes any custom (non-catalog) CCT

Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

ACUITY BRANDS

Acuity Brands Lighting
 1000 Acuity Drive
 Columbus, GA 31906
 Phone: 706-533-1000
 Email: sales@acuitybrands.com
 Website: www.acuitybrands.com

PERFORMANCE PACKAGE

ATB0	LED 90° 20°					
	50k Hours	75k Hours	100k Hours	50k Hours	75k Hours	100k Hours
F201	0.90	0.95	0.98	0.92	0.97	0.99
F202	0.90	0.95	0.98	0.92	0.97	0.99
F203	0.90	0.95	0.98	0.92	0.97	0.99
F204	0.90	0.95	0.98	0.92	0.97	0.99
F205	0.90	0.95	0.98	0.92	0.97	0.99
F206	0.90	0.95	0.98	0.92	0.97	0.99
F207	0.90	0.95	0.98	0.92	0.97	0.99
F208	0.90	0.95	0.98	0.92	0.97	0.99
F209	0.90	0.95	0.98	0.92	0.97	0.99
F210	0.90	0.95	0.98	0.92	0.97	0.99
F211	0.90	0.95	0.98	0.92	0.97	0.99
F212	0.90	0.95	0.98	0.92	0.97	0.99
F213	0.90	0.95	0.98	0.92	0.97	0.99
F214	0.90	0.95	0.98	0.92	0.97	0.99
F215	0.90	0.95	0.98	0.92	0.97	0.99
F216	0.90	0.95	0.98	0.92	0.97	0.99
F217	0.90	0.95	0.98	0.92	0.97	0.99
F218	0.90	0.95	0.98	0.92	0.97	0.99
F219	0.90	0.95	0.98	0.92	0.97	0.99
F220	0.90	0.95	0.98	0.92	0.97	0.99

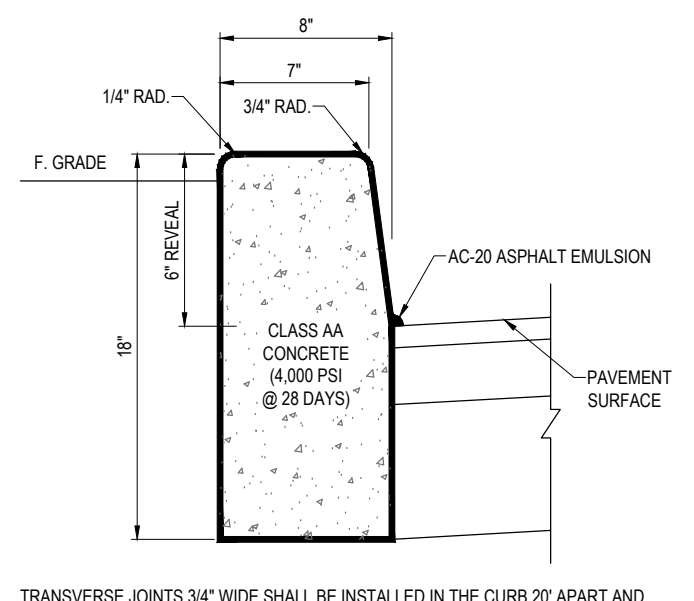
* Also includes any custom (non-catalog) CCT

Notes:
 1 Not available in 30" or 48"
 2 Not available with PCS-10
 3 Not available with PCS-10
 4 Not available with PCS-10
 5 Not available with PCS-10
 6 Not available with PCS-10
 7 PCS-10 available with PCS-10, Acuity designed photocontrol.

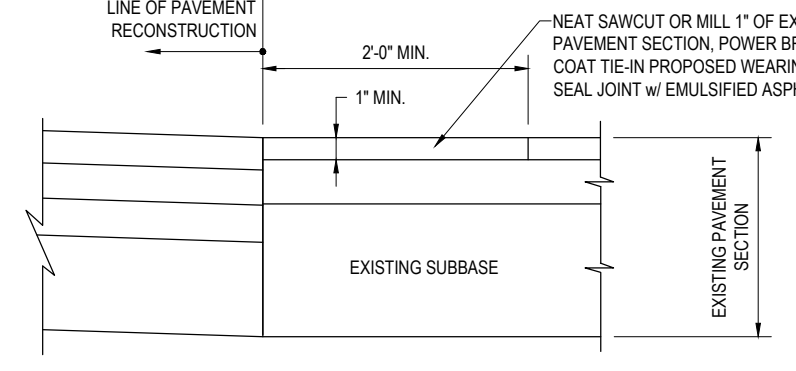
©2014 Acuity Brands Lighting, Inc. All Rights Reserved. ATB0 Rev. 04/16/24

ACUITY BRANDS

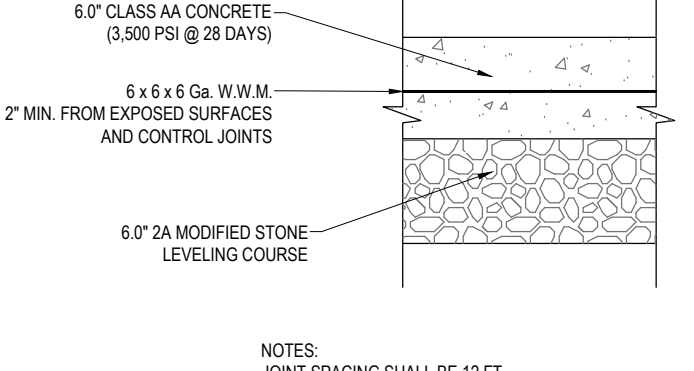
ACUITY BRANDS



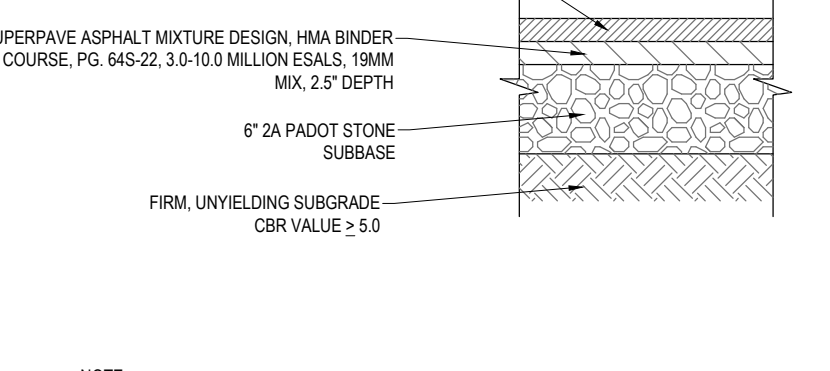
P-1 TYPICAL CONCRETE CURB DETAIL
NOT TO SCALE



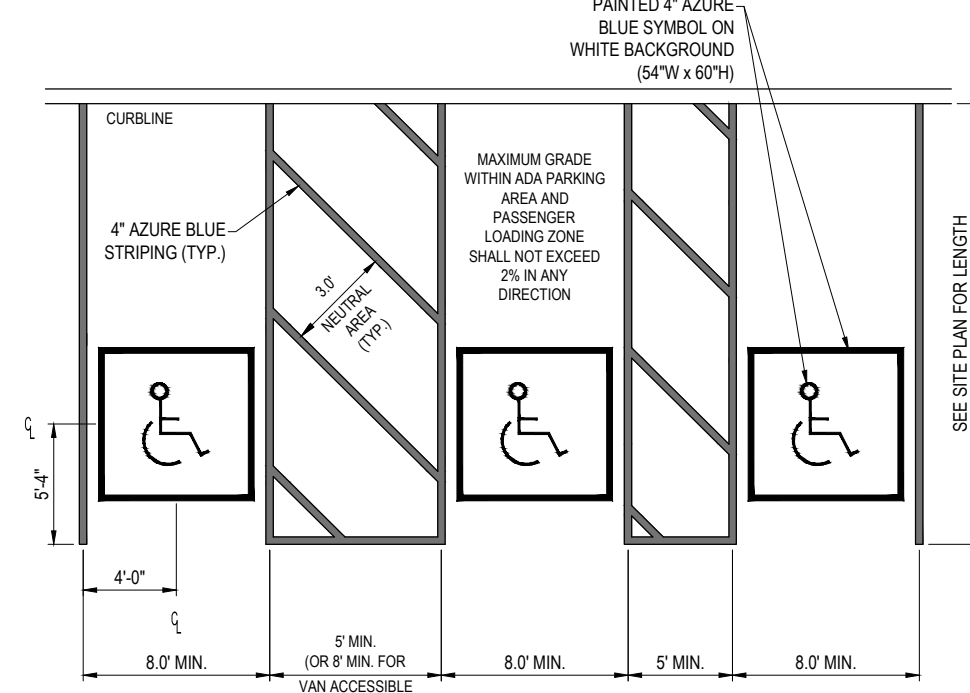
P-13 PAVEMENT TIE-IN DETAIL
NOT TO SCALE



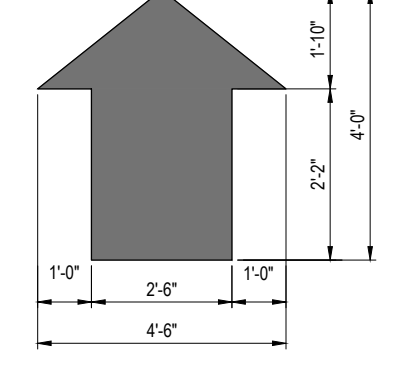
P-16 REINFORCED CONCRETE PAVEMENT DETAIL
NOT TO SCALE



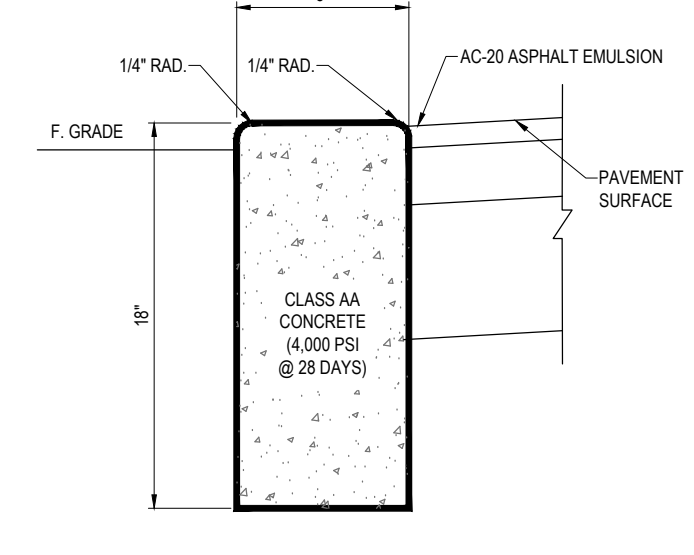
P-17 STANDARD ASPHALT PAVEMENT DETAIL
NOT TO SCALE



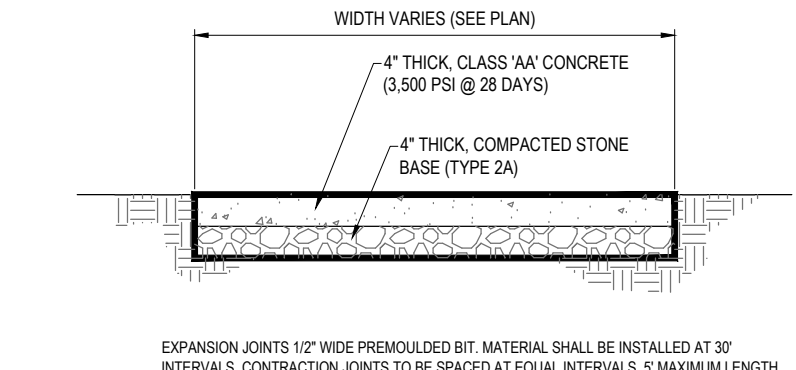
T-12 ADA ACCESSIBLE PARKING SPACE STRIPING (3 SPACES)
NOT TO SCALE



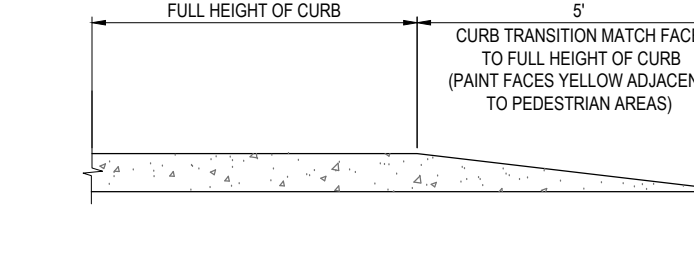
T-7 WHITE PAINTED TRAFFIC ARROW DETAIL
NOT TO SCALE



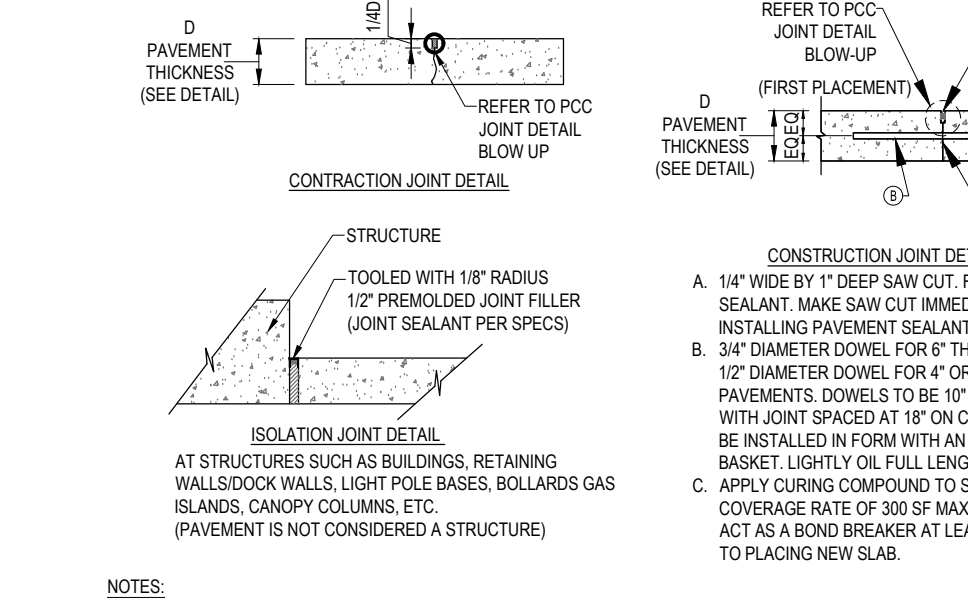
P-2 TYPICAL FLUSH CONCRETE CURB DETAIL
NOT TO SCALE



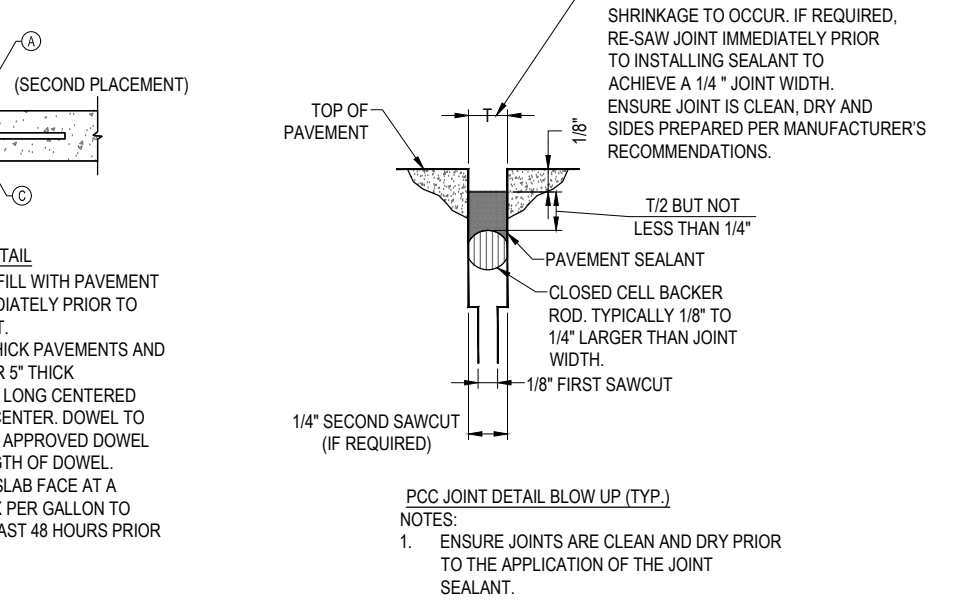
P-21 CONCRETE SIDEWALK DETAIL
NOT TO SCALE



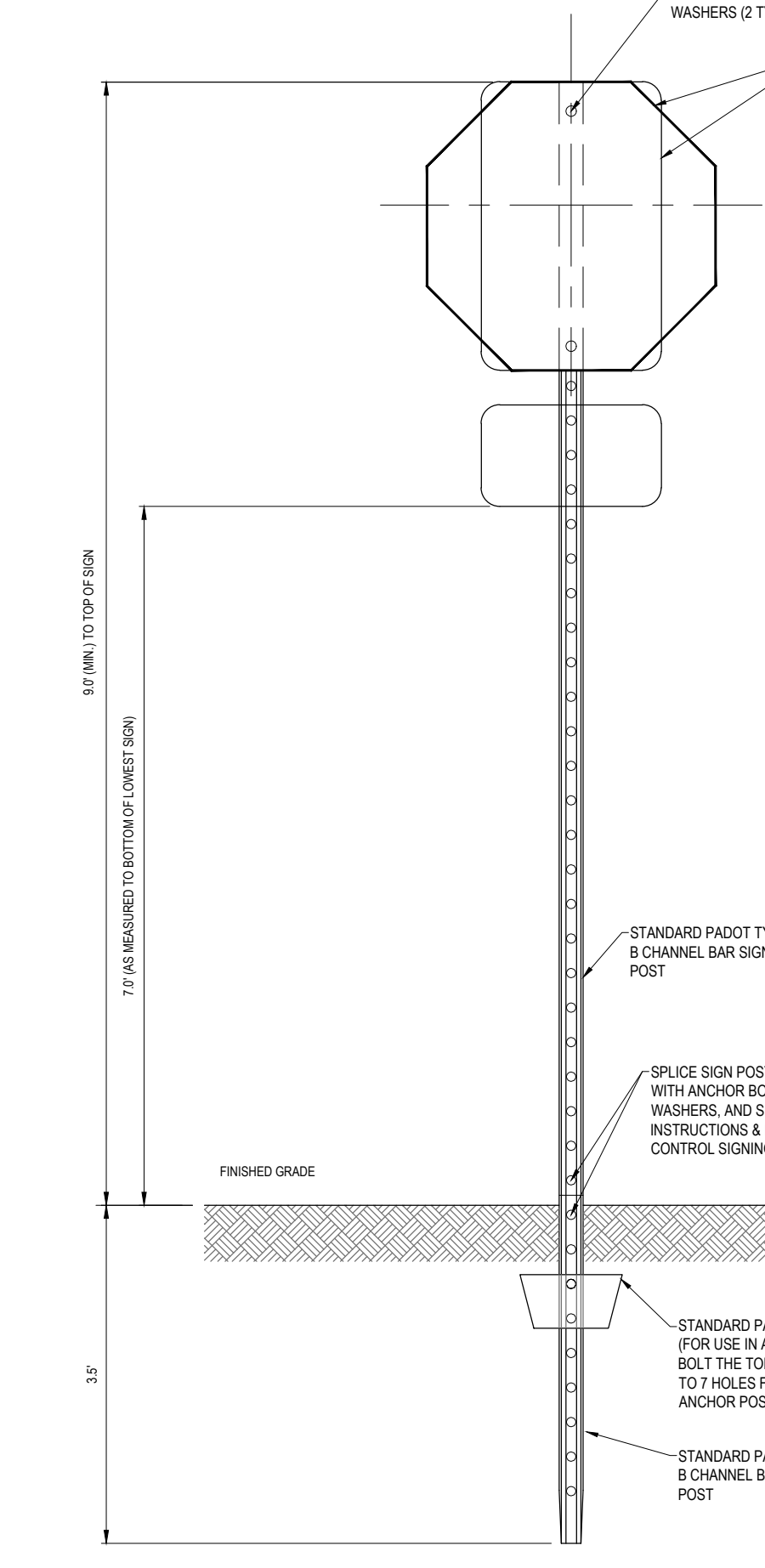
P-3 TAPERED CURB DETAIL
NOT TO SCALE



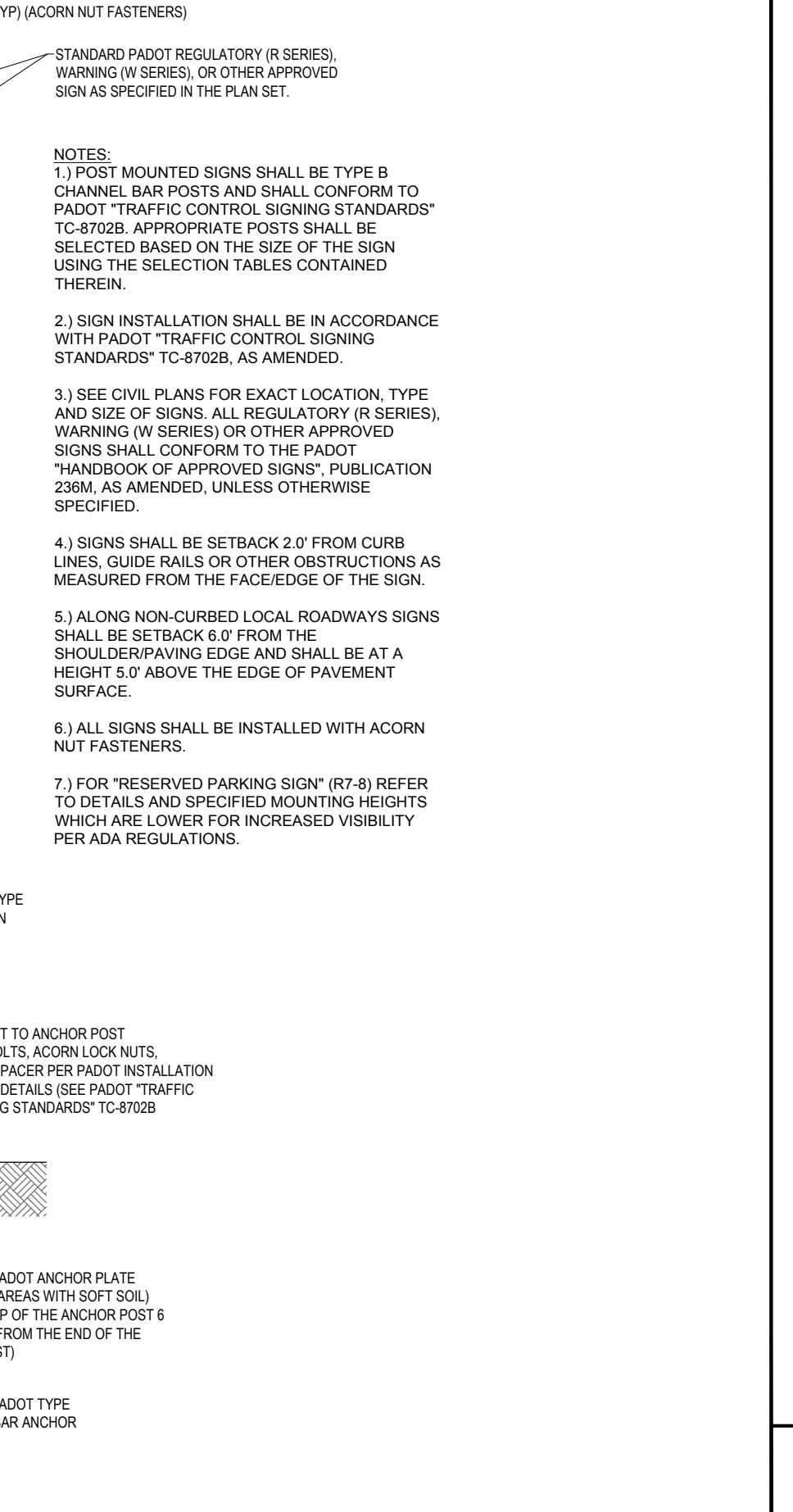
P-9 CONCRETE JOINTS DETAIL
NOT TO SCALE



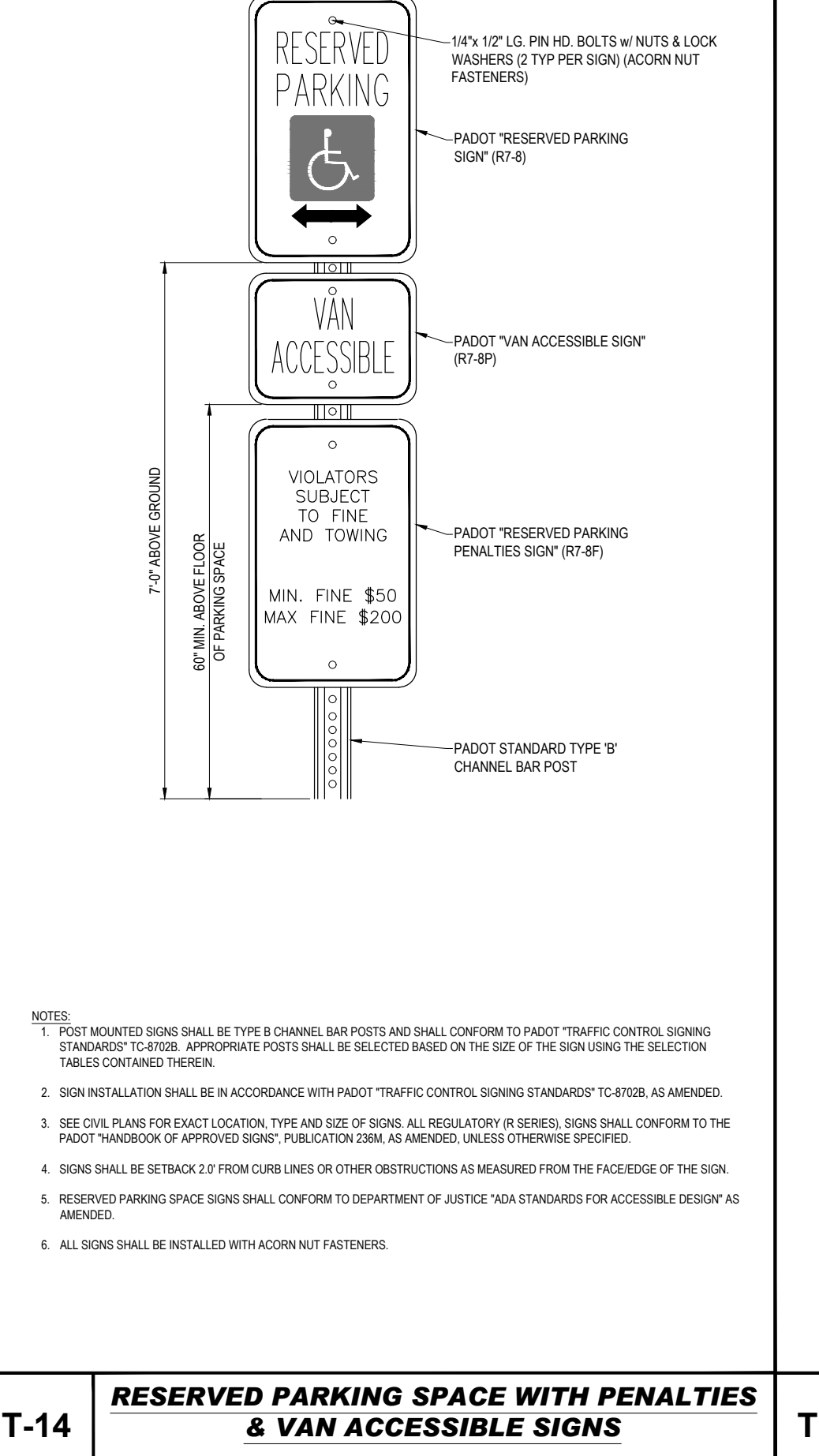
T-5 WHITE PAINTED STOP BAR & "STOP" LETTERING DETAIL
NOT TO SCALE



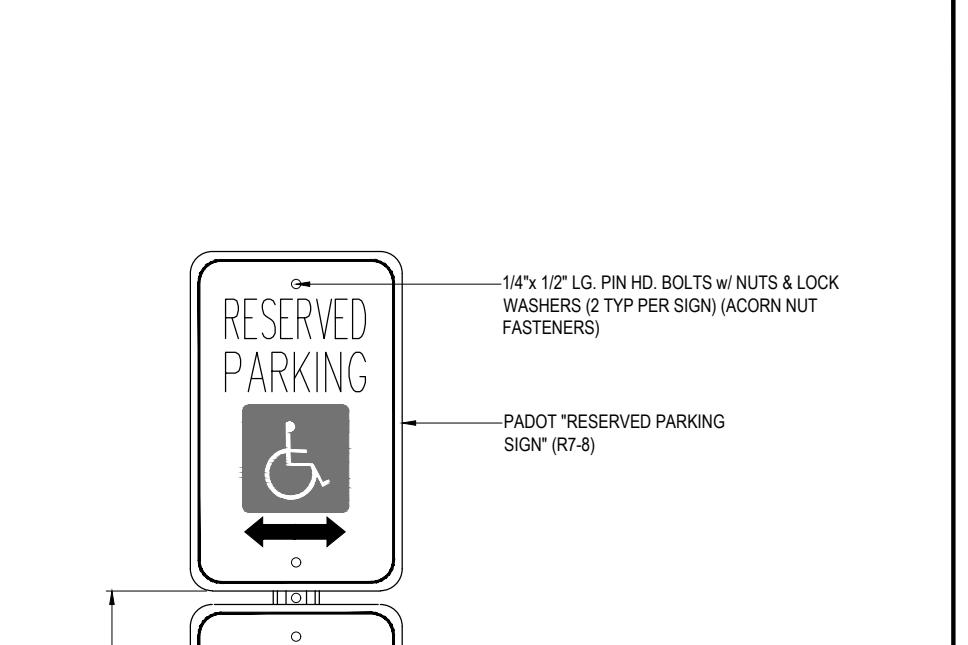
T-11 STANDARD POLE MOUNTED SIGN INSTALLATION DETAIL
NOT TO SCALE



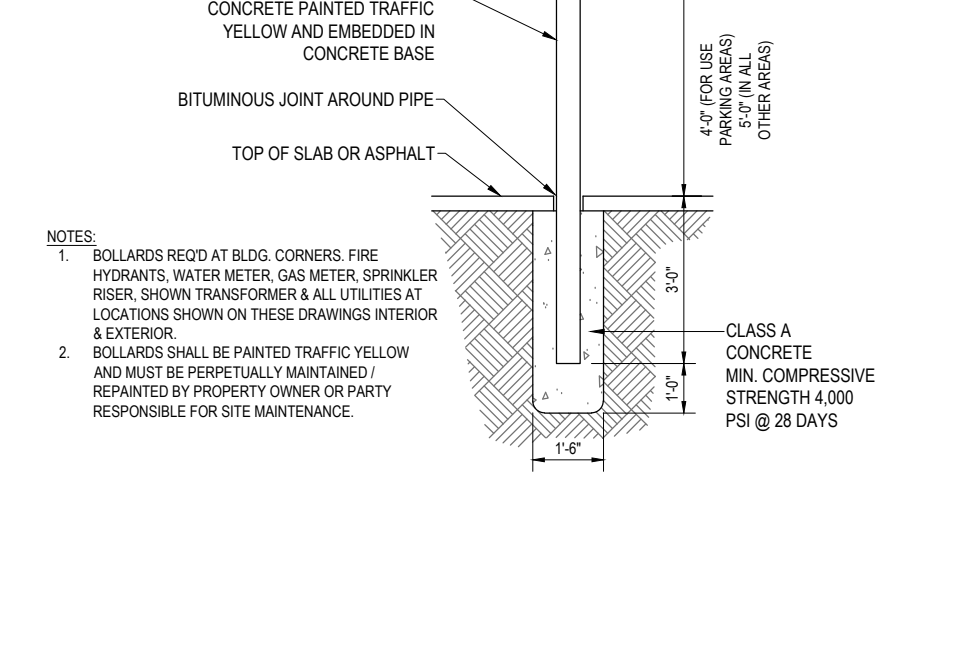
T-14 RESERVED PARKING SPACE WITH PENALTIES & VAN ACCESSIBLE SIGNS
NOT TO SCALE



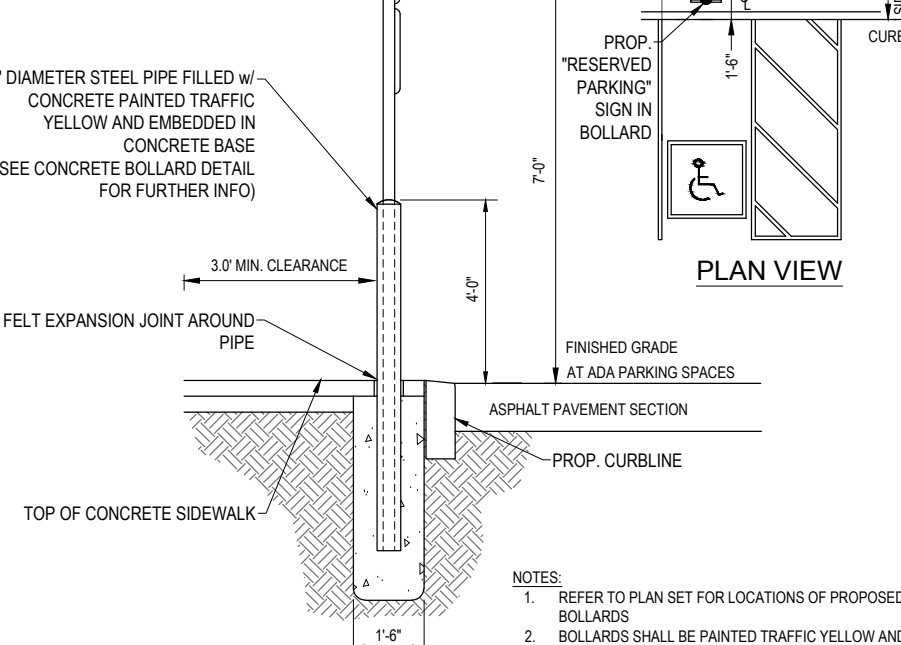
T-15 RESERVED PARKING SPACE & PENALTIES SIGNS
NOT TO SCALE



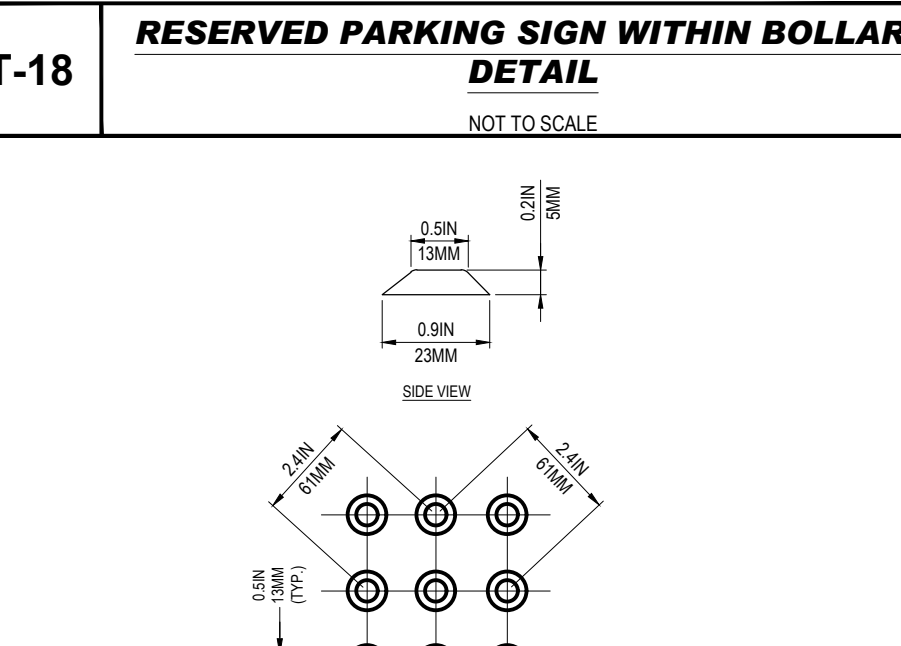
T-20 BOLLARD DETAIL
NOT TO SCALE



T-22 HIGH VISIBILITY CROSSWALK (PERPENDICULAR TO INTERSECTION)
NOT TO SCALE



T-18 RESERVED PARKING SIGN WITHIN BOLLARD DETAIL
NOT TO SCALE



T-16 TRUNCATED DOME PATTERN FOR ADA DETECTABLE WARNING SURFACES (FOR USE IN DOT ROADWAYS)
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION
WHEREVER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1779
www.811.org
#20231151184, #20231151207

FOR PRELIMINARY BIDDING PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: CLB
CHECKED BY: SKS
DATE: 2/7/2024
CAD ID: PAD230020.00-CNDS-2A

PRELIMINARY/ FINAL LAND DEVELOPMENT DRAWINGS
FOR

TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KEELY SMITH
No. PE098741

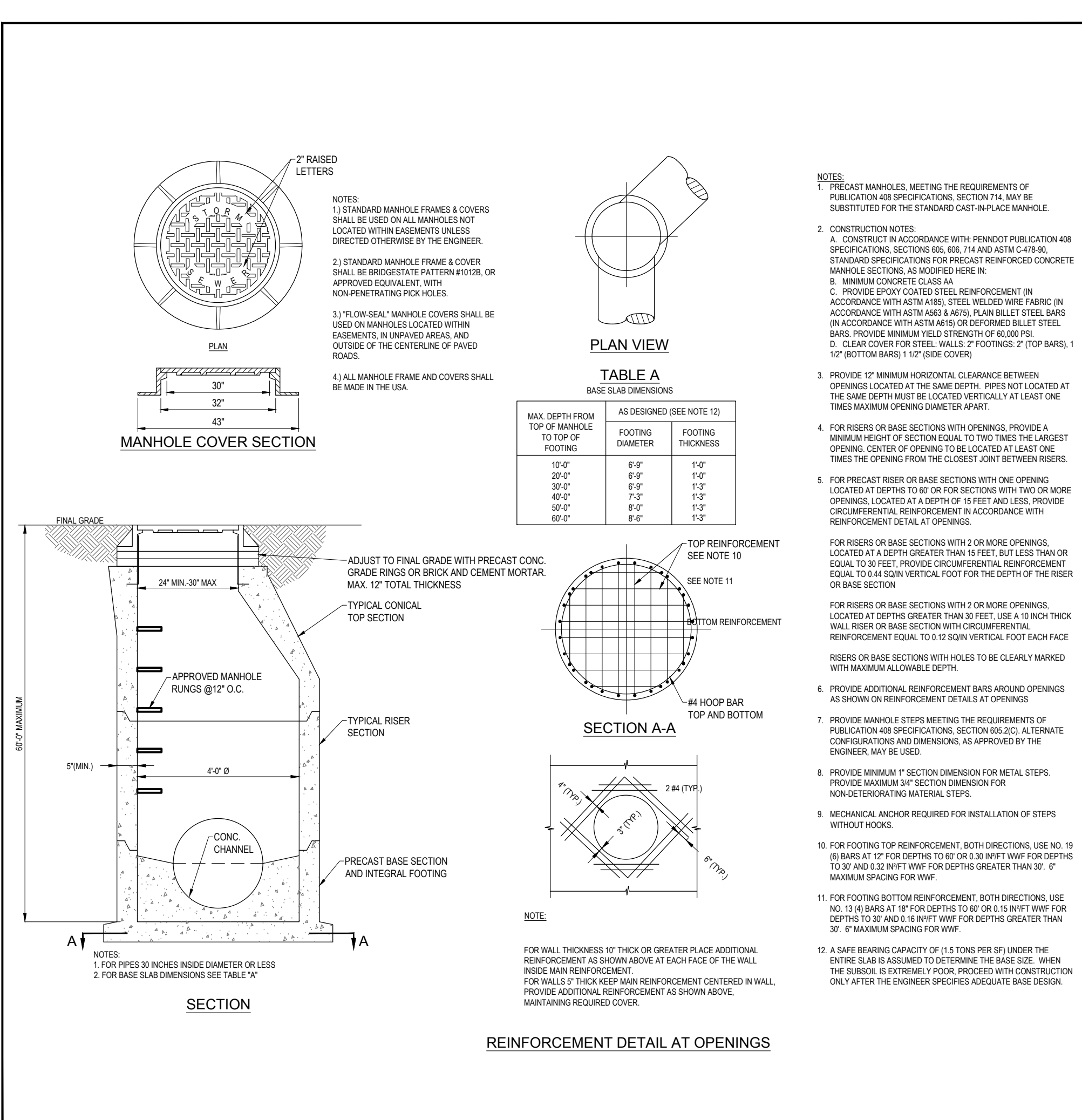
DETAIL SHEET

SHEET NUMBER:
C-903

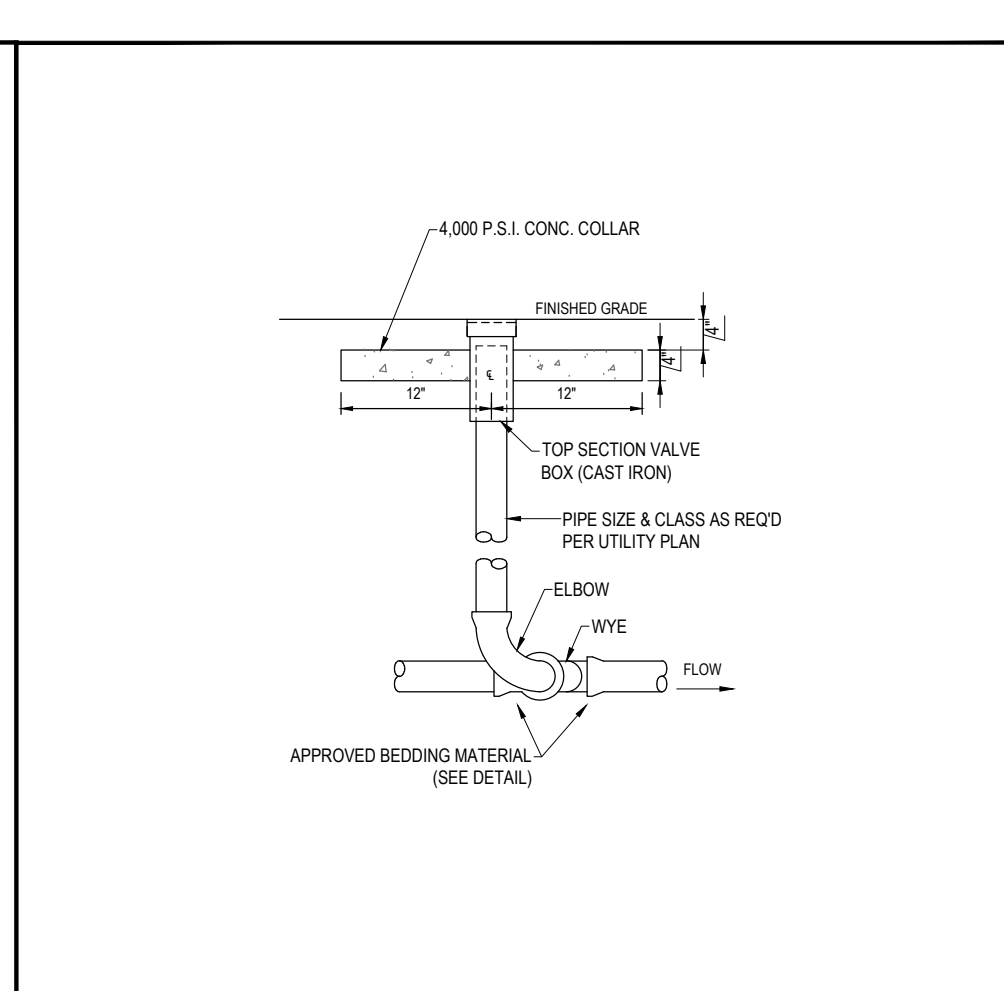
ORG. DATE - 2/7/2024

R:\2023\PA\230020\00\CADD\DRAWINGS\PLAN\DETAILS\T-11-11-24.DWG

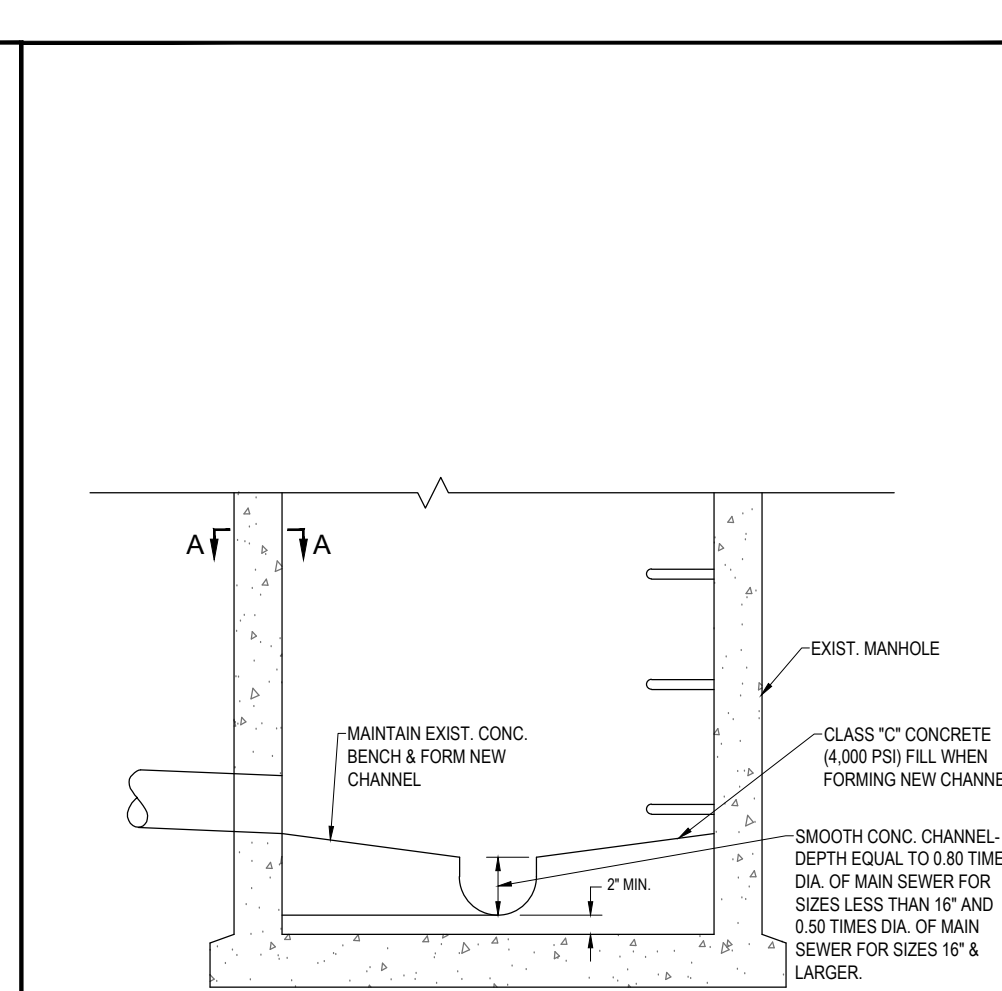
R:\2023\PA230020\00\CADD\DRAWINGS\PLAN SET\TRICHTL SITE PLANS\PA230020-00-CNDS-2A.dwg - LAYOUT: C-904-4 DETAILS



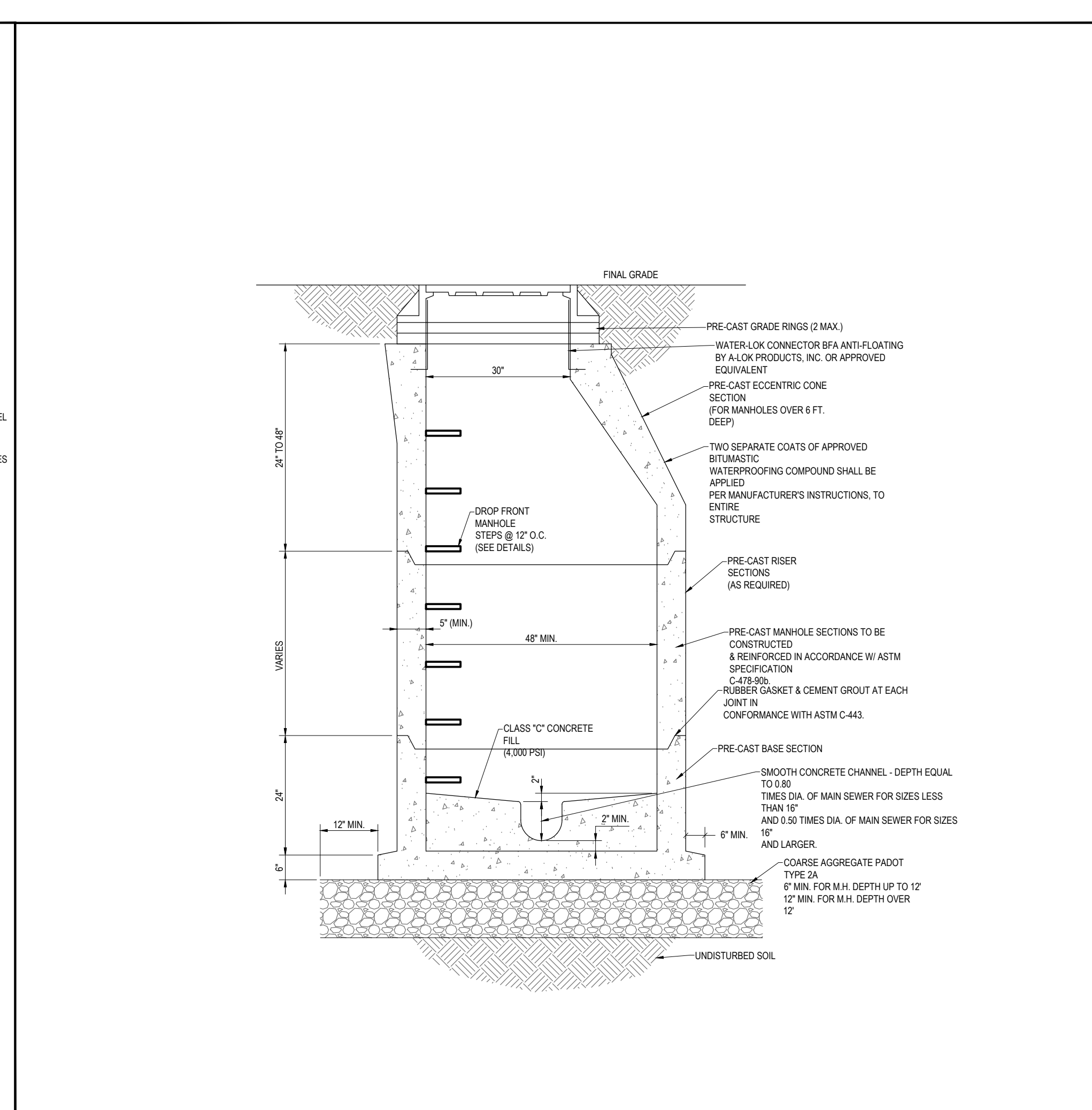
R-4 **PRECAST STORM MANHOLE DETAILS**
NOT TO SCALE



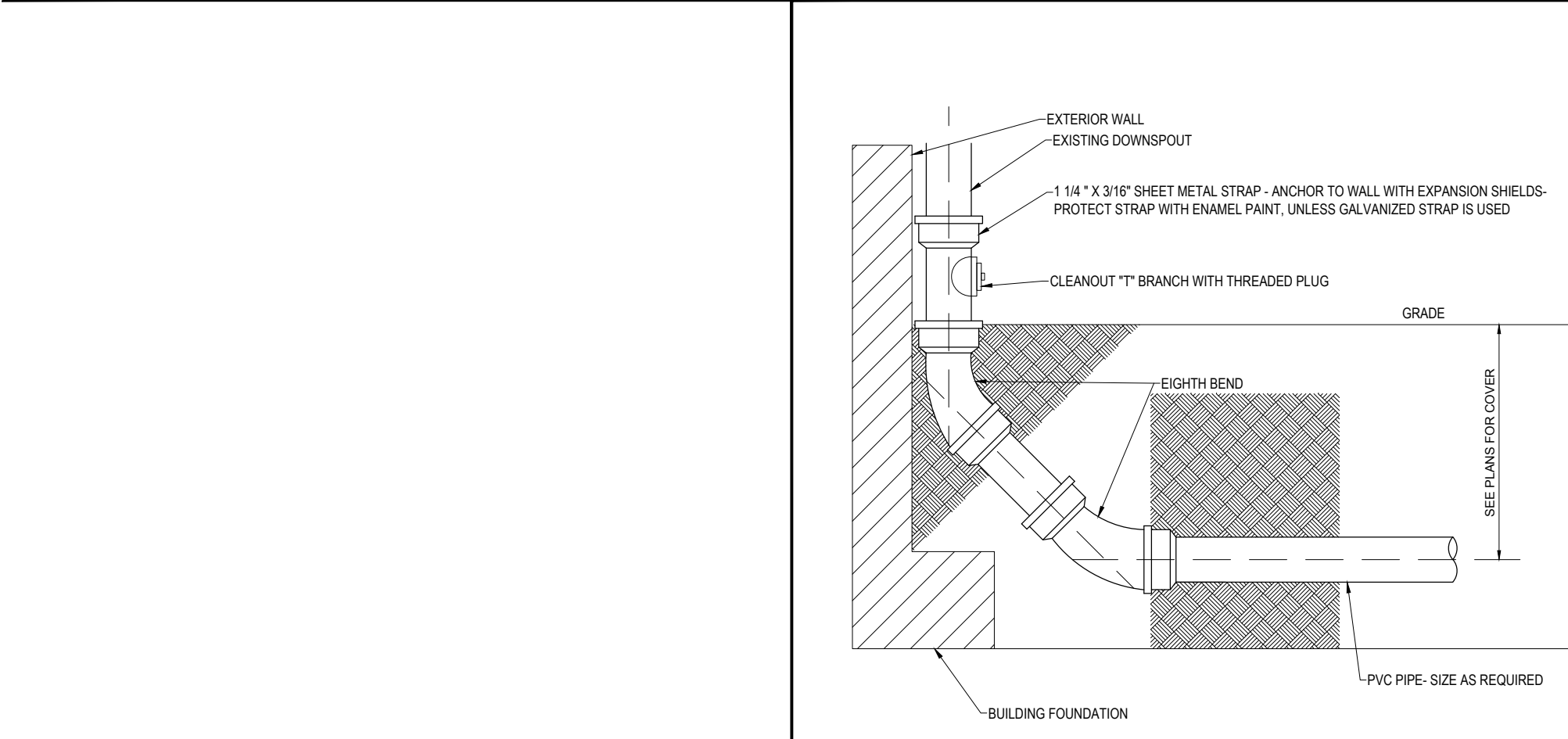
S-13 **TYPICAL CLEANOUT DETAIL (LANDSCAPE AREAS)**
NOT TO SCALE



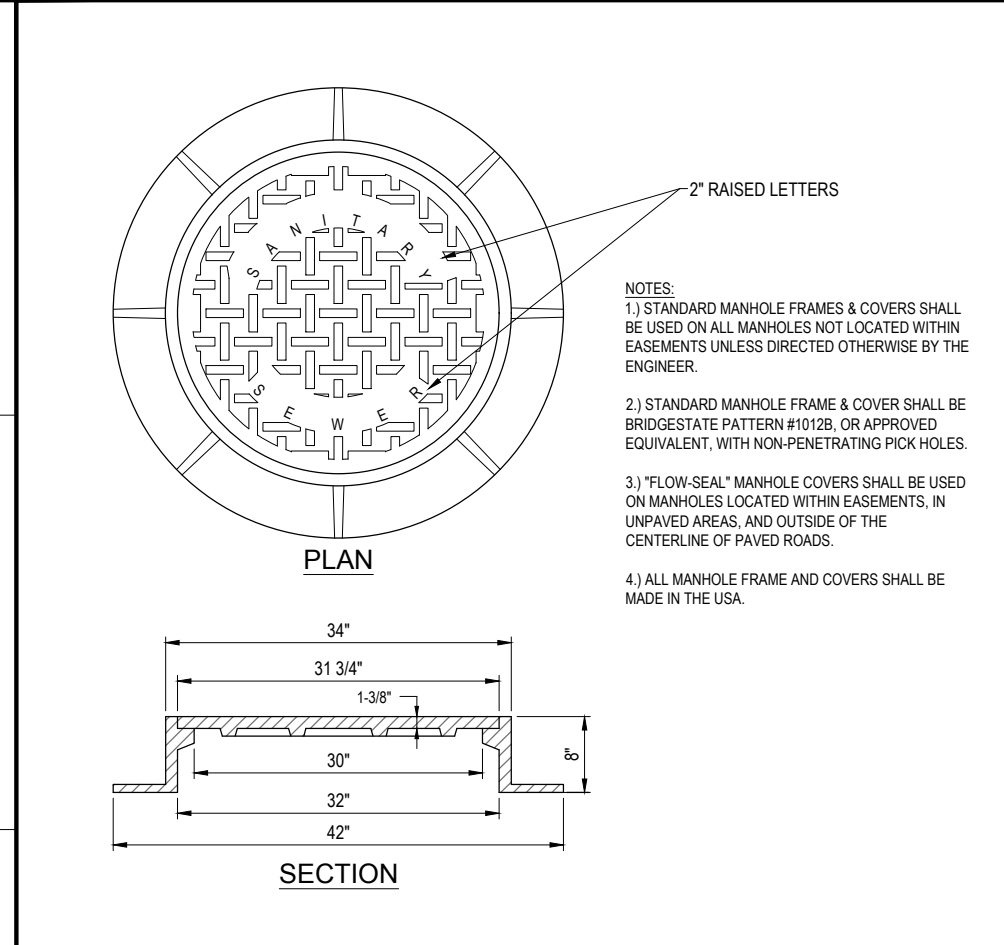
S-7 **PIPE CONNECTION TO EXISTING MANHOLE DETAIL**
NOT TO SCALE



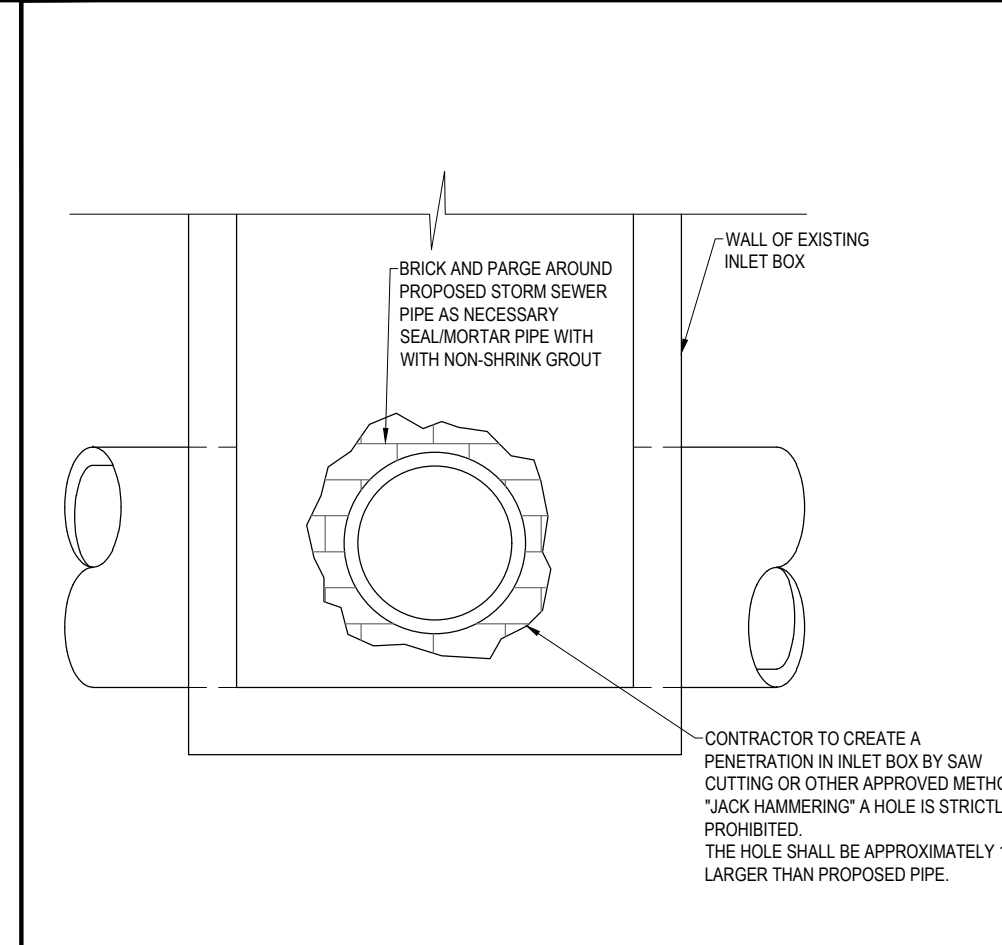
S-3 **PRECAST SANITARY MANHOLE DETAILS**
NOT TO SCALE



S-6 **DOWNSPOUT BOOT DETAIL**
NOT TO SCALE



S-6 **MANHOLE FRAME DETAIL**
NOT TO SCALE



S-9 **PIPE CONNECTION TO EXISTING INLET DETAIL**
NOT TO SCALE

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
PENNSYLVANIA
YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-242-1776
www.811.org
#20231151184, #20231151207

FOR PRELIMINARY BIDDING PURPOSES ONLY

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00
DRAWN BY: CLB
CHECKED BY: SKS
DATE: 2/7/2024
CAD ID.: PAD230020.00-CNDS-2A

PROJECT:
PRELIMINARY/ FINAL LAND DEVELOPMENT DRAWINGS
FOR
TREK DEVELOPMENT GROUP, INC.
BEDFORD DWELLINGS A BLOCK
BEDFORD AVENUE & FRANCIS STREET
ALLEGHENY COUNTY, PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

BOHLER
1 ALLEGHENY SQUARE, SUITE 402
PITTSBURGH, PA 15212
Phone: (724) 638-8500
www.BohlerEngineering.com

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
SHANNON KEHLY SMITH
ENGINEER
No. PE098741
PENNSYLVANIA

SHEET TITLE:
DETAIL SHEET
SHEET NUMBER:
C-904
ORG. DATE - 2/7/2024