# PRELIMINARYIFINAL LAND DEVELOPMENT DRAWINGS

\_\_\_\_\_ FOR \_\_\_\_\_

TREK DEVELOPMENT GROUP, INC.

**PROPOSED** 

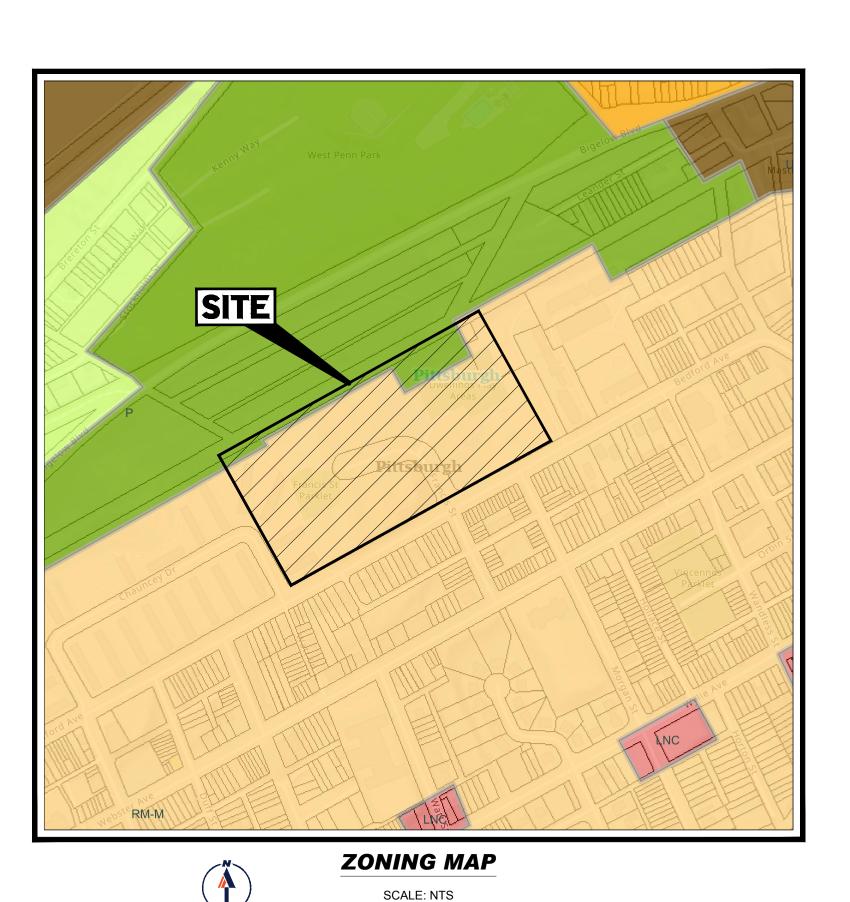
# BEDFORD DWELLINGS A BLOCK

LOCATION OF SITE

BEDFORD AVENUE & FRANCIS STREET, CITY OF PITTSBURGH

ALLEGHENY COUNTY, PENNSYLVANIA

PARCEL ID: 10-F-210 & 25-S-112



SOURCE: CITY OF PITTSBURGH



SOURCE: GOOGLE MAPS

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LOCATION MAP

PREPARED BY



SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

	REVISIONS			
REV	DATE	COMMENT	DRAWN B	
	DAIL	COMMENT	CHECKED	



FOR PRELIMINARY BIDDING PURPOSES ONL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00 DRAWN BY: CLB CHECKED BY: SKS DATE: 2/7/2024 CAD I.D.: PAD230020.00-CNDS-2A

PROJECT:

PRELIMINARY/ FINAL LAND DEVELOPMENT DRAWINGS

TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS A BLOCK

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BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112



1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

www.BohlerEngineering.com



SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-101

ORG. DATE - 2/7/2024

I'HE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND

APPROVALS ON SITE AT ALL TIMES.

ADDITIONAL WORK

INVOLVED WITH THE PROJECT

THIRD PARTY AND FIRST PARTY CLAIMS.

AS DESCRIBED ABOVE

ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

CONDITIONS OF APPROVAL. AND ALL APPLICABLE REQUIREMENTS. RULES. REGULATIONS. STATUTORY REQUIREMENTS. CODES. LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL ELECTRICAL PLUMBING AND FIRE SUPPRESSION PLANS WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER. ARCHITECT AND PROFESSIONAL OF RECORD AND BOHLER. IN WRITING. OF ANY CONFLICTS. DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS SPECIFICATIONS/REPORTS AND

CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY PROFESSIONAL OF RECORD AND BOHLER. IN WRITING. IF ANY CONFLICTS. DISCREPANCIES. OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING PROFESSIONAL OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) PROFESSIONAL OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS. FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY

WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS. THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT DISCREPANCY OR AMBIGUITY THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS. PRIOR TO PROCEEDING WITH ANY FURTHER WORK, IF A GEOTECHNICAL REPORT WAS NOT CREATED. THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.

PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE

THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE

DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION. AND IN CONFORMANCE WITH APPLICABLE CODES. LAWS. RULES REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME, THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE PROFESSIONAL OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY SAME BEING WHOLLY OUTSIDE OF PROFESSIONAL OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS AT ANY TIME

THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE PROFESSIONAL OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY. DEFEND AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES. COSTS. INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE. THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY. INDEPENDENTLY. SEPARATELY. AND SEVERALLY INDEMNIFY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES. CLAIMS AND DAMAGES THAT PROFESSIONAL OF RECORD. AND BOHLER SUFFER AND ANY AND ALL COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS RELATED TO SAME

ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S

COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL RRELLA COVERAGES, ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER, AND ITS PAST, PRESENT AND FUTURI DWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES AFFILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER

ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED LINDER THE LAW INDEMNIEY DEFEND AND HOLD HARMLESS ROHLER AND ITS PAST PRESENT AND FUTURE OWNERS DEFICERS DIRECTORS PARTNERS SHAREHOLDERS MEMBERS PRINCIPALS COMMISSIONERS AGENTS SERVANTS EMPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S). ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY PROFESSIONAL OF RECORD, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO

THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. . NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER. NOR THE PRESENCE OF BOHLER AND/OR ITS PAST. PRESENT AND FUTURE OWNERS OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER

PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION. THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE

WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER. BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN NTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OF TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME, BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS. AS CONDITIONS PERMIT, ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE. MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT

RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED. . IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN PROFESSIONAL OF RECORD'S SCOPE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR

PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE PROFESSIONAL OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL STATE AND LOCAL REQUIREMENTS. FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS

ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS. OWNER AGREES TO INDEMNIEY AND HOLD THE PROFESSIONAL OF RECORD AND BOHLER PARTIES. HARMLESS FOR ALL INJURIES. DAMAGES AND COSTS THAT PROFESSIONAL OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF

IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT

RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE

THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS. AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES, PROFESSIONAL OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR

HE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH

MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO THEY AGREE TO JOINTLY INDEPENDENTLY SEPARATELY COLLECTIVELY AND SEVERALLY INDEMNIEY DEFEND PROTECT AND HOLD PROFESSIONAL OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT PROFESSIONAL OF RECORD SUFFERS AND COSTS THAT PROFESSIONAL OF RECORD INCURS AS A RESULT OF SAID FAILURE. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES. INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES. AS APPROPRIATE AND FURTHER

THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE PROFESSIONAL OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE PROFESSIONAL OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

**DEMOLITION NOTES** (Rev. 1/2023) 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR

THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS'

WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON JNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.

THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED REMOVED AND/OR TO REMAIN A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC

THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIR CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR RETTER CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE

PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER. COMPLYING WITH ALL OSHA REQUIREMENTS. TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF

BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. THE CONTRACTOR MUST IN WRITING RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS. AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJEC NY SUCH CONCERNS MUST BE CONVEYED TO THE PROFESSIONAL OF RECORD AND BOHLER , IN WRITING AND MUST ADDRESS ALL ISSUES AND TEMS RESPONDED TO, BY THE PROFESSIONAL OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS,

RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES

10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE PROFESSIONAL OF RECORD AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS

UNTIL SITE IS STABILIZED . IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE PROFESSIONAL OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND

AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA

H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS

ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS

OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND PROFESSIONAL OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER 2. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION. 3. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM. OR INCIDENTAL TO, DEMOLITION ACTIVITIES, BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUS'

E PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHEI SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMI SUCH REPORTS AND RESULTS TO THE PROFESSIONAL OF RECORD AND THE OWNER 14. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE. NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES. THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND

TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 15. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE. THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST

LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION

16. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME O EXCAVATION, STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO. THE PUBLIC 17. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED. ABANDONED IN PLACE. OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND

HE CONTRACTOR MILET EMPTY WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST

WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE

**GRADING NOTES** 

. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE

GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES. AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE PROFESSIONAL OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO

BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL LINSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED SEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREA: AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES WHICH ARE IN FEFECT AND WHICH ARE APPLICABLE TO THE PROJECT SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS, SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL OMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND

COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS

COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S).

TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND

RETAINING WALL DESIGNS (BY OTHERS)

GENERAL

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE IS PROVIDED IN BOTH PAVED AND LAWN AREAS AFTER CONSTRUCTION. THE MINIMUM SLOPES FOR IMPROVEMENTS ARE 1% ON ALL CONCRETE SURFACES, 1.5% MINIMUM IN ASPHALT (EXCEPT WHERE ADA LIMITS SLOPE), AND 2% IN LAWN AREAS. ANY LOCALIZED DEPRESSIONS MUST BE ELIMINATED. THE CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES. WHERE THE GRADING ALONG AND ADJACENT TO A BUILDING ARE SCHEMATIC DUE TO A GENERIC BUILDING FOOTPRINT. THE GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE THE MINIMUM REVEAL AS REQUIRED BY THE ARCHITECT AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ALL GRADING AND MINIMUM

SLOPES AND SEPARATIONS MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ALL OTHER APPLICABLE REQUIREMENTS. RULES, STATUTES, LAWS, ORDINANCES, AND CODES, WHERE SUBGRADE BUILDING AREAS ARE PROVIDED, THE CONTRACTOR MUST DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED SUBGRADE BUILDING AREA. WHERE GROUNDWATER IS ENCOUNTERED AT THE ELEVATION OF THE SUBGRADE BUILDING AREA, APPROPRIATE CONSTRUCTION METHODS SHALL BE EMPLOYED TO PREVENT GROUNDWATER FROM ENTERING THE STRUCTURE(S). IF AND WHERE

SUMP PUMPS ARE PROVIDED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER OR OTHERWISE PROTECTED FROM CAUSING SURFACE RUNOFF FROSION 2. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED STABILIZATION MEASURES FOR ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1

13. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS OR GEOTECHNICAL SPECIFICATION 14. THE TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE WALL AND DO NOT REPRESENT THE FLEVATION OF THE PROPOSED WALL WHICH MAY INCLUDE CAP UNITS AND FOOTINGS. WALL FOOTINGS/FOUNDATION FLEVATIONS. ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURE DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE HAT THE WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE FEATURES IN THE VICINITY OF THE WALL(S), SHALL BE CONSIDERED AND INCORPORATED INTO THE

15. ALL DISTURBED TOPSOIL ON THE SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. REMOVAL OF TOPSOIL IS NOT ALLOWED, UNLESS OTHERWISE SPECIFIED BY THE SITE GEOTECHNICAL ENGINEER DUE TO THE SOIL'S UNSUITABILITY FOR PLACEMENT.

**ACCESSIBILITY DESIGN GUIDELINES** ALL ACCESSIBLE (A K A ADA) COMPONENTS AND ACCESSIBLE ROLITES MUST BE CONSTRUCTED TO MEET AT A MINIMUM. THE MORE STRINGENT OF

BUIDELINES AND REQUIREMENTS WHICH INCLUDE. BUT ARE NOT LIMITED TO THE FOLLOWING

THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROLITES FOR THE SITE FINISHED SURFACES ALONG THE ACCESSIBLE ROLITE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION PEDESTRIAN ACCESS. AND INTER-BUILDING ACCESS. TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THE ACCESSIBLE

(A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.): AND (B)

ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%). AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL.

OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS, LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY

60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%), WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).

DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS

ANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO

FEWER THAN 60-INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, OF ANY

DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE

COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE

BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF

RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE

**DRAINAGE AND UTILITY NOTES** 

LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

(Rev. 1/2023)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE. AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL LITHLITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION

POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND

DMISSIONS IN WRITING, TO THE PROFESSIONAL OF RECORD. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION. AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.

THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH PRIOR TO COMMENCEMENT OF CONSTRUCTION : STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF

SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINI THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY

TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME. ALL FILL COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH

DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S). WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY JPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY. WATER AND STORM

SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS.

1. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT. PRIOR TO COMMENCING CONSTRUCTION. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES LAWS ORDINANCES AND CODES

(Rev. 1/2023)

13. THESE PLANS INVOLVE BUILDINGS THAT MAY BE BUILT AT A LATER DATE. THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING, BUT NOT LIMITE TO STORM, SANITARY, TELECOM, GAS, AND ELECTRIC, AND IRRIGATION LINES TO A POINT AT LEAST FIVE FEET (5') BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF A PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON

COMPLETION OF WORK. 14. STORM AND SANITARY PIPE LENGTHS INDICATED IN THE PLANS ARE NOMINAL AND ARE MEASURED FROM THE CENTERS OF INLETS AND MANHOLES. 5. UNLESS OTHERWISE NOTED, ALL NEW UTILITIES/SERVICES, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TELECOM, GAS, ETC. MUST BE INSTALLED UNDERGROUND. ALL NEW UTILITY SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDERS

INSTALLATION SPECIFICATIONS AND STANDARDS. 6. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS, MUST BE REPAIRED IN ACCORDANCE WITH THE REFERENCED MUNICIPAL, COUNTY, AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY(IES) HAVING JURISDICTION

. VARIOUS ASPECTS OF THE UTILITY DESIGNS DEPICTED ON THE PLANS ARE SCHEMATIC IN ORDER TO PROVIDE PLAN CLARITY OR TO CONVEY A DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY CONFIGURE ALL STRUCTURES IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL, SERVICE PROVIDER, OR MANUFACTURER REQUIREMENTS IN ORDER TO ACHIEVE PROPER SITING, OPERATION, CONNECTIONS SEPARATIONS, AND ACCESSES. THE CONTRACTOR SHALL REVIEW THE PLAN SPECIFICATIONS AND PREPARE STRUCTURE DESIGNS THAT INCORPORATE ANY AND ALL INTEGRAL COMPONENTS. SLICH AS TRASH RACKS, GATES, VALVES, INTERNAL OR EXTERNAL LININGS, WATER OLIALITY DEVICES, SUMPS, RESTRAINTS, STEPS, FRAMES AND GRATES, PIPE/CONDUIT CONNECTIONS, MATERIALS, ETC. SHOULD DISCREPANCIES OR CONFLICTS ARISE UPON THE DESIGN OF THESE STRUCTURES OR INCORPORATION OF THE VARIOUS ELEMENTS, THE CONTRACTOR MUST MMEDIATELY NOTIFY THE PROFESSIONAL OF RECORD OR BOHLER IN WRITING.

S SANITARY SEWER SERVICE SHALL BE PROVIDED BY THE PITTSBURGH WATER AND SEWER ALITHORITY (PWSA) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH PWSA STANDARD SPECIFICATIONS. . THE CONTRACTOR MUST NOTIFY, IN WRITING, PWSA AT LEAST THREE (3) BUSINESS DAYS PRIOR TO INSTALLATION OF THE SANITARY COMPONENTS FAILURE TO HAVE SANITARY INSTALLATION AND TESTING OBSERVED BY PWSA MAY REQUIRE RE-EXCAVATION OF THE SANITARY LINE(S), AND

RE-TESTING, WHICH WILL BE DONE AT THE SOLE EXPENSE OF THE CONTRACTOR. 10. SANITARY SEWERS CROSSING STREAMS SHALL BE CONFIGURED TO BE NEARLY PERPENDICULAR TO THE STREAM AND SHALL BE PROVIDED WITH A CONCRETE ENCASEMENT FOR THE ENTIRE CROSSING. A MINIMUM OF THREE FEET (3') OF COVER SHALL BE PROVIDED TO THE TOP OF THE ENCASEMENT. IN OTHER WET AREAS, SUCH AS WETLANDS, FLOODPLAINS, OR ALLUVIAL AREAS, ADDITIONAL MEASURES MAY BE REQUIRED, SUCH AS CONCRETE ENCASEMENTS OR ANTI-SEEP COLLARS, AS SPECIFIED ON THE PLANS OR AS REQUIRED BY PWSA. 1. UNLESS OTHERWISE NOTED, SANITARY MAIN SHALL BE SDR 35 PVC FOR NORMAL DEPTHS AND DUCTILE IRON PIPE (DIP) WHERE ANY PORTION OF A SEWER SEGMENT IS 16' IN DEPTH OR GREATER. SANITARY LATERALS SHALL BE SDR 35 PVC UNLESS INDICATED IN WRITING OTHERWISE. 22. ALL SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM COVER OF FOUR FEET (4'), AS MEASURED FROM THE TOP OF THE PIPE TO THE PROPOSED

3. CLEANOUTS SHALL BE PROVIDED FOR ALL LATERALS LONGER THAN 75' AND REGARDLESS OF LENGTH, SHALL BE PROVIDED AT ALL CHANGES OF DIRECTION. CLEANOUTS SHALL BE THE SAME SIZE AS THE PIPING SERVED BY CLEANOUT, EXCEPT THAT CLEANOUTS FOR PIPING LARGER THAN OUR INCHES (4") SHALL NOT NEED TO BE LARGER THAN FOUR INCHES (4").

24. SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST TEN FEET (10') HORIZONTALLY. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH AT LEAST 18" BELOW THE BOTTOM OF THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNING AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE. THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DIP USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST TEN FEET (10') ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED. 25. NO TREES SHALL BE LOCATED WITHIN TEN FEET (10') OF SANITARY SEWER MAINS OR LATERALS.

6. UNLESS INDICATED OTHERWISE, STORM MAINS MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS. WHEN HIGH DENSITY POLYETHYLENE PIPE (HDPE) IS SPECIFIED, IT MUST CONFORM TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND BE TYPE S (SMOOTH INTÉRIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SOIL TIGHT JOINTS. PIPE FOR ROOF DRAINS SHALI BE HDPE, SDR 35 PVC, OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS SHALL BE PROVIDED AND CONFORM TO ASTM F477

27. A MINIMUM OF FOUR FEET (4') OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM STRUCTURES AND OTHER UTILITIES. A MINIMUM OF 18" OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN AND STORM SEWER. 28. UNLESS SPECIFIC MUNICIPAL DETAILS DICTATE OTHERWISE, ALL STORM STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST

RECENT REVISION OF PENNDOT PUBLICATION 408 - "SPECIFICATIONS", PUBLICATION 72M - "STANDARDS FOR ROADWAY CONSTRUCTION" 29. ALL INLETS SHALL BE PROVIDED WITH BICYCLE SAFE GRATES. 30. ALL STORM PIPE CONNECTIONS TO STRUCTURES SHALL BE MADE WATER TIGHT

31. WATER SERVICE SHALL BE PROVIDED BY THE PITTSBURGH WATER AND SEWER AUTHORITY (PWSA) AND SHALL BE CONSTRUCTED IN ACCORDANCE

WITH PWSA STANDARD SPECIFICATIONS 32. THE WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER AUTHORITY ABSENT SPECIFIC REQUIREMENTS. WATER MAIN PIPING SHALL BE CEMENT LINED DUCTILE IRON PIPE (DIP) WITH A MINIMUM THICKNESS CLASS 52. ALL PIPE AND APPURTENANCES SHALL COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION. 33. ALL WATER MAINS AND SERVICE LINES SHALL HAVE A MINIMUM COVER OF FOUR FEET (4'), AS MEASURED FROM THE TOP OF THE PIPE TO THE PROPOSED SURFACE ELEVATION.

34. WATER MAINS AND LATERALS SHALL BE HORIZONTALLY SEPARATED FROM STORM STRUCTURES BY A MINIMUM OF FOUR FEET (4'). A MINIMUM OF 18" OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN AND STORM SEWER. 35. WATER JOINTS SHALL BE MECHANICAL JOINTS WITH THRUST BLOCKING AT ALL CHANGES IN DIRECTION, AND/OR AS DEFINED IN THE SPECIFICATIONS/DETAILS

SITE LAYOUT NOTES (Rev. 1/2020) 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS'

PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC

CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH

THE ENTITY WITH JURISDICTION OVER THE PROJECT. . ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE

SITE SPECIFIC NOTES

HOUSING AUTHORITY OF THE CITY OF PITTSBURGH 412 BOULEVARD OF THE ALLIES FLOORS 1, 5, 6, 7

(Rev. 1/2023)

PITTSBURGH, PA 15219 URBAN REDEVELOPMENT AUTHORITY OF PITTSBURGH 412 BOULEVARD OF THE ALLIES

2. EXISTING PROPERTY INFORMATION: PARCEL ID: 10-F-210 & 25-S-112 BEDFORD AVENUE, PITTSBURGH, PA 19044

PITTSBURGH, PA 15219

ZONED RM-M AND P 3 APPLICANT/FQUITABLE OWNER TREK DEVELOPMENT GROUP, INC. THE CENTURY BUILDING 130 7TH STREET, PITTSBURGH PA 15222

CONTACT: ADDY CULLEN, ACULLEN@TREKDEVELOPMENT.COM

4. BASIS OF BEARING: PENNSYLVANIA COORDINATE SYSTEM OF 1983, SOUTH ZONE. GRID NORTH ESTABLISHED PER GPS OBSERVATIONS CONDUCTED ON THE NAD83(2011) DATUM UTILIZING THE KEYNET GPS VRS NETWORK

5. BY GRAPHIC PLOTTING ONLY, THE SUBJECT PREMISES LIES WITHIN FLOOD ZONE X, OTHER AREAS, AS SHOWN ON FEMA FIRM MAP COMMUNITY PANEL NO. 42003C0353H, BEARING AN EFFECTIVE DATE OF SEPTEMBER 26, 2014. ZONE X, OTHER AREAS, DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

6. ALL PROPOSED PINS AND MONUMENTS SHALL BE PLACED AND CERTIFIED BY A LICENSED PENNSYLVANIA PROFESSIONAL SURVEYOR.

(Rev. 1/2020)

REVISIONS REV DATE COMMENT

Call before you dig YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776

FOR PRELIMINARY BIDDING PURPOSES ONLY

#20231151184, #20231151207

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENC EVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUC DOCUMENT UNLESS INDICATED OTHERWISE

PAD230020.00-CNDS-2

PROJECT No.: PAD230020.0 DRAWN BY: **CHECKED BY** 

CAD I.D.:

PROJECT: PRELIMINARY/ FINAL LAND **DEVELOPMENT** DRAWINGS

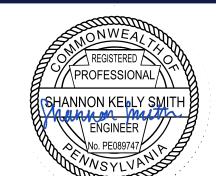
TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS A BLOCK** 

BEDFORD AVENUE & FRANCIS STREET **ALLEGHENY COUNTY.** PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212

Phone: (724) 638-8500 www.BohlerEngineering.com



SHEET TITLE:

GENERAL

ORG. DATE - 2/7/2024

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS. BY OTHERS

REFERENCES AND CONTACT INFORMATION

PLANS BY SHEFFLER & COMPANY, INC.

ENTITLED: "EXISTING CONDITIONS PLAN

DATED: 5/19/2023, LAST REVISED 8/18/2023

ENTITLED: "GASLINE RELOCATION PLANS"

DATED: 3/14/2024, LAST REVISED 4/30/2024

P.O. BOX 386. ELIZABETH, PA 15037-0386

DATED: SEPTEMBER 2023, REVISED APRIL 2024

A REPORT BY GEOMECHANICS, INC.

BEDFORD DWELLINGS PHASE II"

GASLINE RELOCATION PLANS

PROJECT NO. PAD230020.00

GEOTECHNICAL REPORT

PROJECT NO: 23031

PLANS BY BOHLER ENGINEERING

FILE NO: 4872

SHEETS 1-2 OF 2

1712 MOUNT NEBO ROAD, SEWICKLEY, PA 15143

1 ALLEGHENY SQUARE, SUITE 402, PITTSBURGH, PA 15212

MILLENNIUM III PROFESSIONAL PARK, 600 MUNIR DRIVE,

ENTITLED: "GEOTECHNICAL ENGINEERING INVESTIGATION

4. GEOTECHNICAL REPORT (INFILTRATION TEST RESULTS):

95 SOUTH TENTH STREET, PITTSBURGH, PA 15203

1700 MARKET STREET, SUITE 2800, PHILADELPHIA, PA 19103

DOWNLOADED FROM ALLEGHENY COUNTY GIS OPEN DATA.

MILLENNILIM III PROFESSIONAL PARK, 600 MUNIR DRIVE.

A REPORT BY GEOMECHANICS, INC.

LBA LANDSCAPE ARCHITECTURE

PROJECT NO: 23031

5 LANDSCAPE ARCHITECT

412-488-8822

ARCHITECT

215-430-5089

DATED 7/13/2021

WATERSHED GIS DATA:

DATED: APRIL 26, 2024

P.O. BOX 386, ELIZABETH, PA 15037-0386

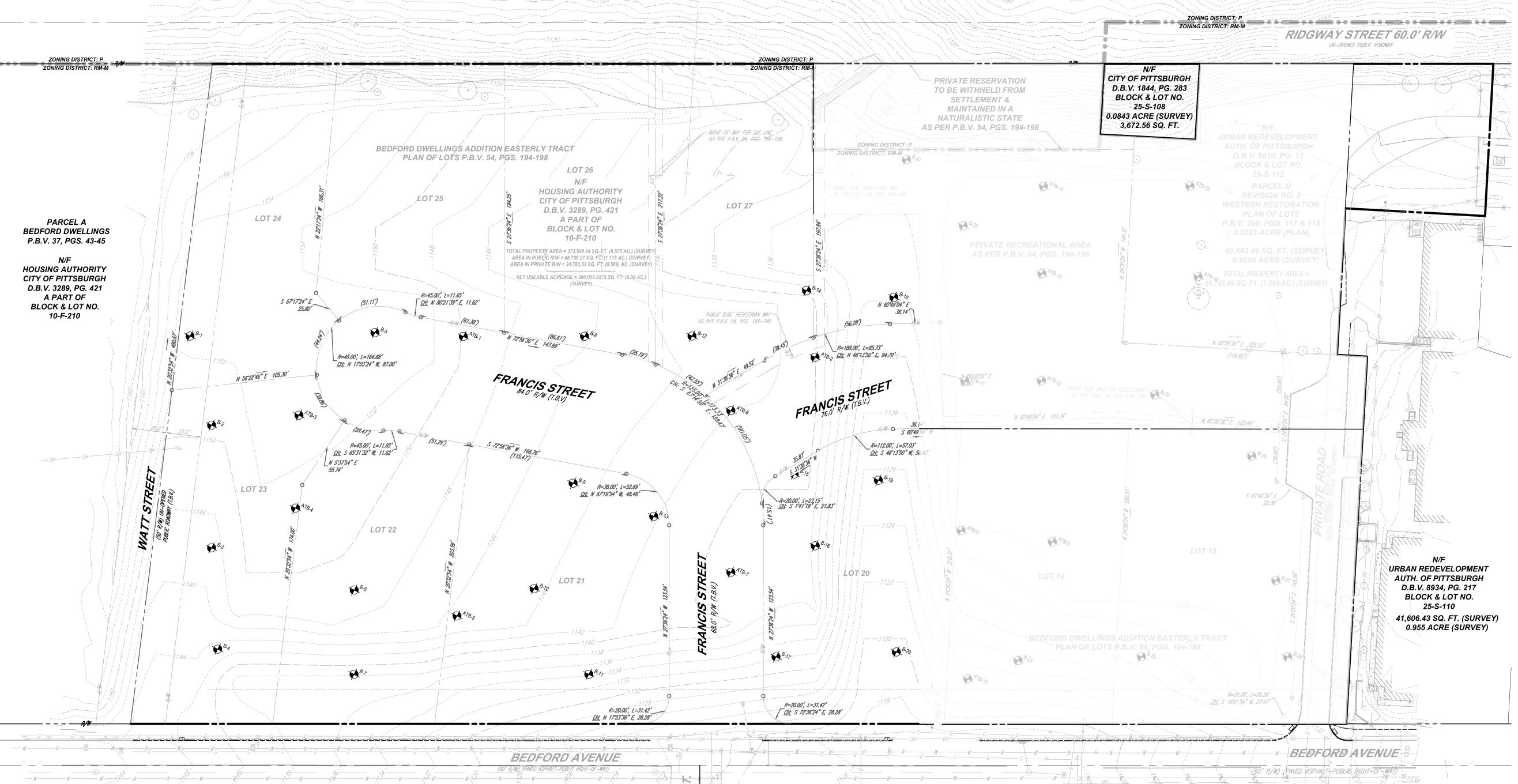
ENTITLED: "INFILTRATION TEST RESULTS "



N/F CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO.

25-R-160

N/F CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO. 25-R-160



	EXISTI	NG
	PROPERTY LINE	
	R.O.W. LINE	
ADJA	ACENT PROPERTY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	LEASE LINE	
	BUILDING	
	RETAINING WALL	
	CONCRETE CURB	
	FLUSH CURB	
	FENCE	X
	GUIDE RAIL	
	TREELINE	~~~~~
	BASIN DIVIDE	
	BORING LOCATION	<b>\Phi</b>
- A	CCESSIBLE SYMBOL	Ė
СО	NCRETE MONUMENT/ IRON PIN	· •
	SIGN	<del></del>
-	PARKING COUNT	10
	AREA LIGHT	
-	TREE	
	DRAINAGE INLET	
STOF	RM/SANITARY MANHOLE	Ø (S)
V	VATER/GAS VALVES	₩V GV ⊠ ⊠
RO	OF DRAIN/CLEANOUT	o <sup>RD</sup> o <sup>CO</sup>
	FIRE HYDRANT	~
UT	ILITY POLE W/ LIGHT	<del></del>
	UTILITY POLE	-
OVE	RHEAD UTILITY WIRES	OH
	ELECTRIC LINE	——-E-——
	TELEPHONE LINE	
-	GAS LINE	G
	WATER LINE	W
-	SANITARY SEWER	
	STORM PIPE	

LEGEND

LEGEND				
TO BE REMOVED				
EASEMENT LINE				
SETBACK LINE				
LEASE LINE				
BUILDING				
RETAINING WALL				
CONCRETE CURB				
FLUSH CURB				
FENCE	<del></del>			
GUIDE RAIL				
TREELINE	~~~~~			
ACCESSIBLE SYMBOL	گِ			
CONCRETE MONUMENT/ IRON PIN	· 0			
SIGN	<del>-</del>			
PARKING COUNT	/10\			
AREA LIGHT	<b>=</b>			
TREE				
DRAINAGE INLET				
STORM/SANITARY MANHOLE	( <u>D</u> ) ( <u>S</u> )			
WATER/GAS VALVES	₩ <sup>GV</sup>			
ROOF DRAIN/CLEANOUT	o <sup>RD</sup> o <sup>CO</sup>			
FIRE HYDRANT	V			
UTILITY POLE W/ LIGHT	<del>*====-</del>			
UTILITY POLE	<del>-</del>			
OVERHEAD UTILITY WIRES				
ELECTRIC LINE	——————			
TELEPHONE LINE	—— <i>-</i> /			
GAS LINE	——-G——			
WATER LINE	W			
SANITARY SEWER				
STORM PIPE	========			

#### DEMOLITION ABBREVIATIONS

ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

NOTE: REFER TO MASS EARTHWORK PLANS & GASOLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR DEMOLITION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.





#### **REVISIONS**

REV	DATE	COMMENT	DRAWN BY
KEV	DAIL	COMMENT	CHECKED BY
1	4/15/2024 DOMI REVIEW	DOMI REVIEW	ECS
1	4/15/2024	DOWN REVIEW	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS
_	4/30/2024	I INCLIMI DID FACRAGE	EEG
3	6/11/2024	ARCH COORDINATION	ASW
3	0/11/2024 ARCH COORDINATION		EEG
4	8/1/2024	DOMI REVIEW	ASW
4	0/1/2024	DOMI REVIEW	FFG



**ISSUED FOR PERMIT** 

# PENNSYLVANIA YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 1-800-242-1776 www.pa1call.org #20231151184, #20231151207

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: PAD230020.00 DRAWN BY: ASW CHECKED BY: SKS DATE: 7/31/2024 CAD I.D.: PAD230020.00-STE1-0A

PROJECT:

#### **PERMIT DRAWINGS**

TREK DEVELOPMENT

## GROUP, INC.

BEDFORD DWELLINGS PHASE II

BEDFORD AVENUE & FRANCIS STREET

ALLEGHENY COUNTY,
PITTSBURGH, PA
PARCEL ID: 10-F-210 & 25-S-112

## BOHLER/

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

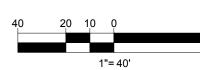
www.BohlerEngineering.com

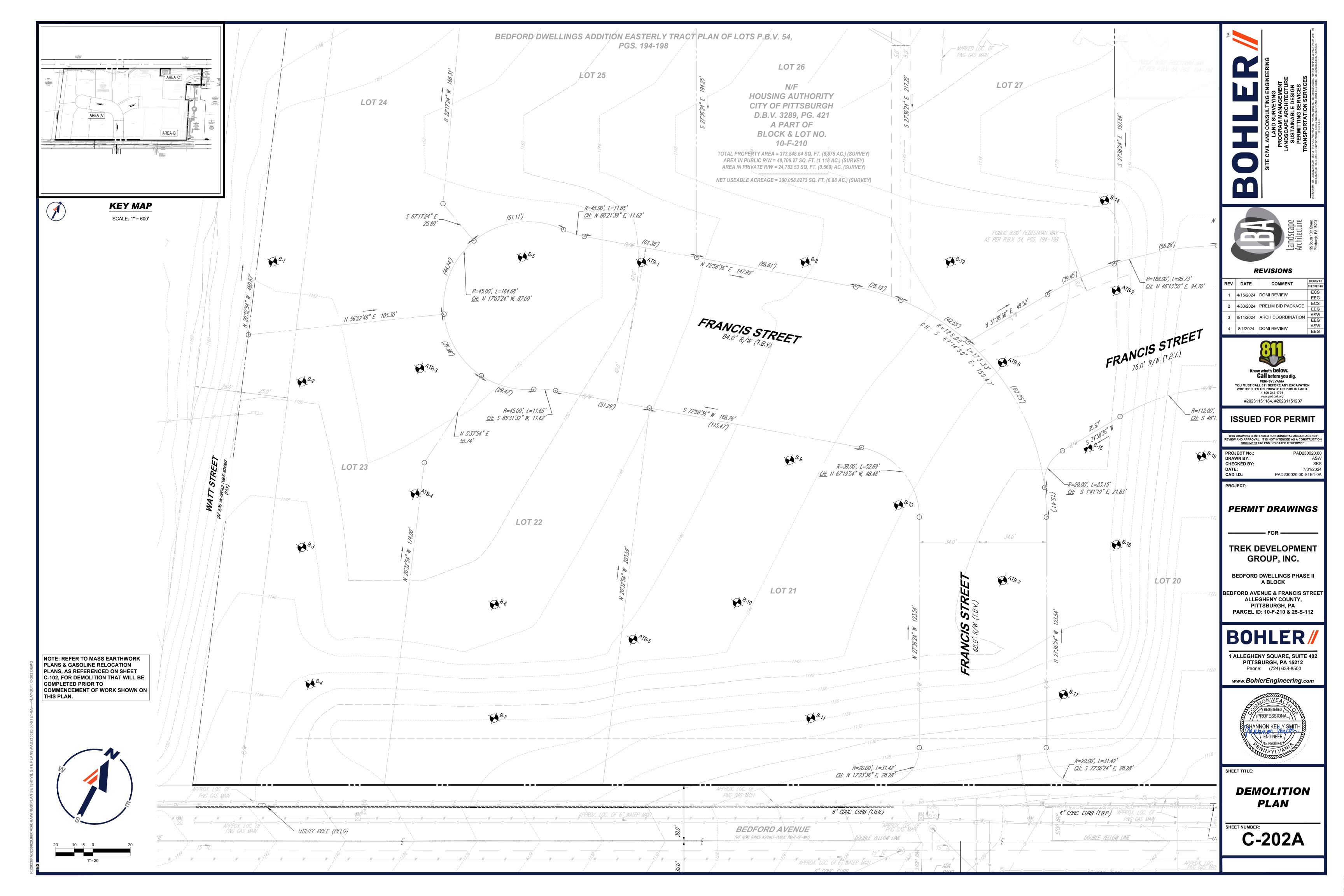


SHEET TITLE

OVERALL EXISTING CONDITIONS/ DEMOLITION PLAN

C-201A







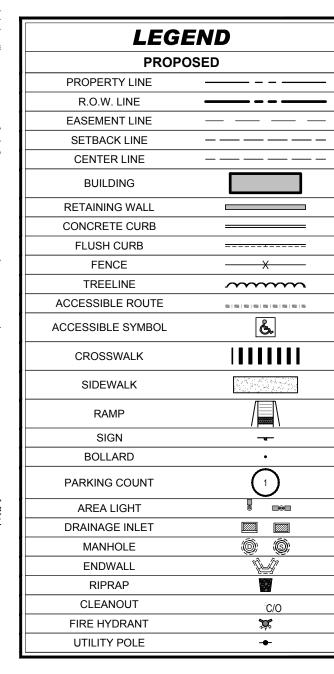
N/F CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO. 25-R-160

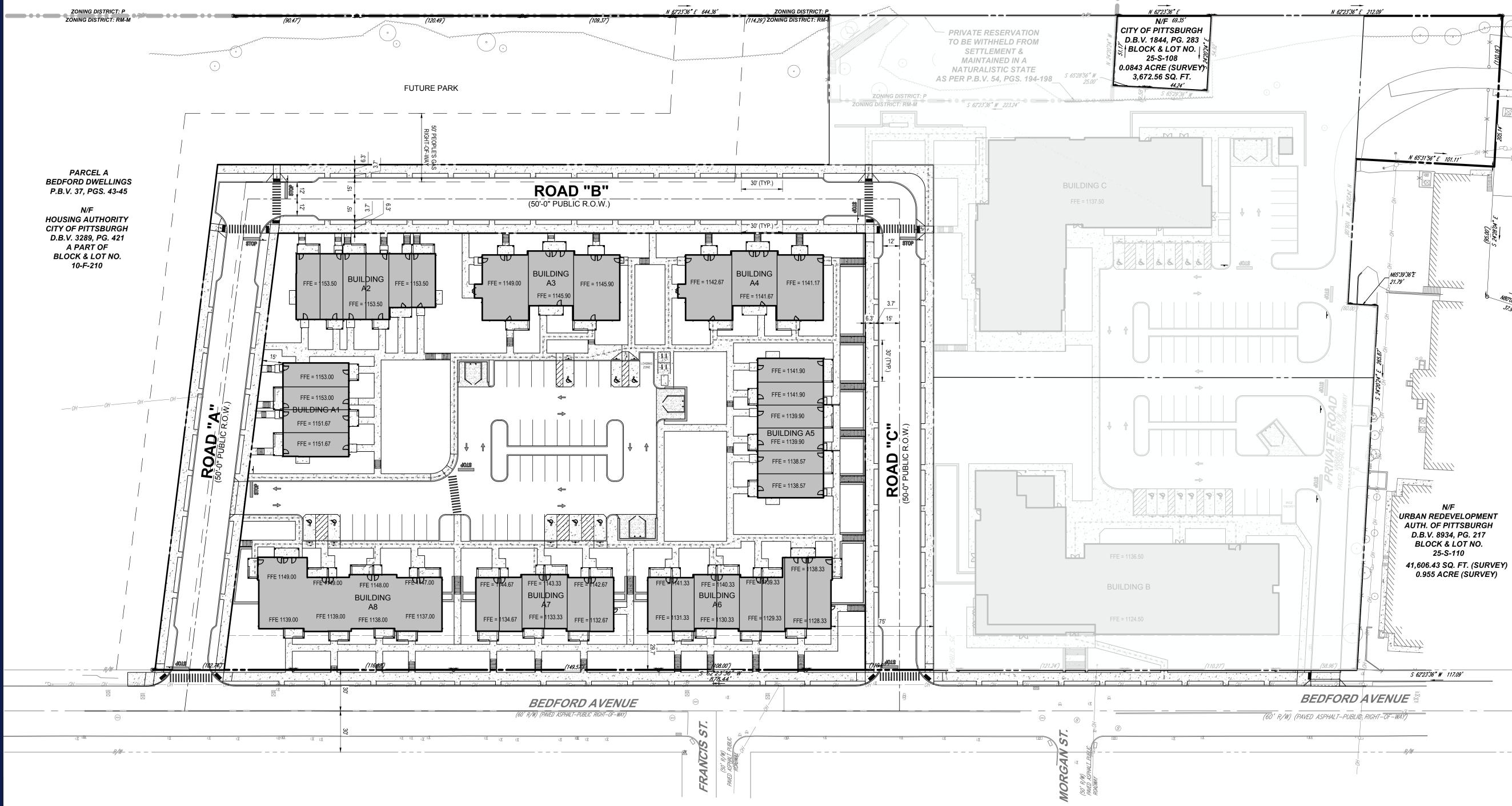
PARKING REQUIREMENTS				
ITEM	CODE	REQUIRED	PROPOSED	
MIN. VEHICLE PARKING	§914.02.A	FOR SINGLE-UNIT ATTACHED:  0 SPACES / UNIT FOR 2-UNIT, 3-UNIT, AND MULTI-UNIT DWELLINGS: 1 OFF-STREET SPACE / UNIT FOR SENIOR LIVING: PARKING DEMAND ANALYSIS TOTAL MIN. REQUIRED: = 18 UNITS * 0 SPACES / UNIT + 52 UNITS * 1 SPACE / UNIT= 52 SPACES	46 SPACES (OFF-STREET) 86 SPACES (ON-STREET)	
MAX. VEHICLE PARKING	§914.02.A	FOR SINGLE-UNIT ATTACHED:  4 SPACES / UNIT FOR 2-UNIT, 3-UNIT, AND MULTI-UNIT DWELLINGS: 2 SPACES / UNIT FOR SENIOR LIVING: PARKING DEMAND ANALYSIS TOTAL MAX. ALLOWED: = 18 UNITS * 4 SPACES / UNIT + 52 UNITS * 2 SPACES / UNIT = 176 SPACES	46 SPACES (OFF-STREET) 86 SPACES (ON-STREET)	
MIN. BICYCLE PARKING	§914.05.D	FOR MULTI-RESIDENTIAL (12+ UNITS): 1 BICYCLE SPACE / 3 UNITS = 180 UNITS / 1 SPACE/ 3 UNITS = 60 SPACES	60	
MIN. PROTECTED BICYCLE PARKING	§914.05.D	AT LEAST 60% OF ALL BICYCLE PARKING SPACES	52	

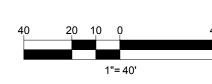
ZONE: RM-M (MUI		, MODERATE DENSITY); P (PARK Y RESIDENTIAL, SENIOR LIVING	S AND OPEN SPACE)
APPLI	CANT/ OV	VNER INFOR	MATION
APPLICAN	IT:	130 SEVE	MENT GROUP, INC NTH STREET GH, PA 15222
PROPERTY OI	WNER:	URBAN REDEVELOPMEN	Y CITY OF PITTSBURGH, NT AUTH. OF PITTSBURGH, PITTSBURGH
BUL	K REQUI	REMENTS (R	РМ-М)
ITEM	CODE	REQUIRED	PROPOSED
MIN. LOT SIZE	§903.03.C.2	3,200 SF	200,908.4 SF
MIN. LOT SIZE PER UNIT	§903.03.C.2	1,800 SF	N/A
MIN. YARD SETBACKS			
FRONT YARD	§903.03.C.2	25 FT	29.7FT
REAR YARD	§903.03.C.2	25 FT	63.0 FT
EXTERIOR SIDE YARD	§903.03.C.2	25 FT	N/A
INTERIOR SIDE YARD	§903.03.C.2	10 FT	N/A
MAX. HEIGHT	§903.03.C.2	55 FT (4 STORIES)	TBD
			VARIANCE REQUIRED

		ZONIN	NG TABLE		<b>LEGE</b>	ND
	ZONE: PM-M (MIII	TLUNIT PESIDENTIAL I	MODERATE DENSITY); P (PARK	S AND OPEN SPACE)	EXISTIN	IG
	ZOIVE. RIW-IVI (IVIOI		RESIDENTIAL, SENIOR LIVING	SAND OF EN OF ACE,	PROPERTY LINE	
	ADDI I	CANTION	NER INFORI	MATION	R.O.W. LINE	
	APPLI	CAN II ON	MEK INFORI	WATION	ADJACENT PROPERTY LINE	
	ADDLICAN	IT.	TREK DEVELOPMENT GROUP, INC 130 SEVENTH STREET		EASEMENT LINE	
	7.4.7.2.07.4.7.1			GH, PA 15222	SETBACK LINE	
			HOUSING AUTHORITY	CITY OF PITTSBURGH,	LEASE LINE	
	PROPERTY OV	WNER:		NT AUTH. OF PITTSBURGH, PITTSBURGH	BUILDING	
	RIII	K REQUI	REMENTS (R	<u>М</u> .М)	RETAINING WALL	
			<u> </u>	,	CONCRETE CURB	
	ITEM	CODE	REQUIRED	PROPOSED	FLUSH CURB	
MIN. LOT S	IZE	§903.03.C.2	3,200 SF	200,908.4 SF	FENCE	X
MIN. LOT S	IZE PER UNIT	§903.03.C.2	1,800 SF	N/A	GUIDE RAIL	
MIN. YARD	SETBACKS				TREELINE	~~~~
FRONT YAI	RD	§903.03.C.2	25 FT	29.7FT	ACCESSIBLE SYMBOL	Ė
REAR YAR	)	§903.03.C.2	25 FT	63.0 FT	CONCRETE MONUMENT/ IRON PIN	
EXTERIOR	SIDE YARD	§903.03.C.2	25 FT	N/A	SIGN	-
INTERIOR	SIDE YARD	§903.03.C.2	10 FT	N/A	PARKING COUNT	10
MAX. HEIG	ΗT	§903.03.C.2	55 FT (4 STORIES)	TBD	AREA LIGHT	=
				VARIANCE REQUIRED	TREE	
					DRAINAGE INLET	
					STORM/SANITARY MANHOLE	<b>D</b>
					WATER/GAS VALVES	W
					ROOF DRAIN/CLEANOUT	o <sup>RD</sup>
					FIRE HYDRANT	V
	DISTRICT: P STRICT: RM-M			··· <del>··································</del>	UTILITY POLE W/ LIGHT	-
ZOMING DI		PINCI	WAY STREET 6	ח חי פ/או	UTILITY POLE	-0-

	LEGE	ND			
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	PROPERTY LINE				
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DATE: CAD I.D.: 7/31/2024 PAD230020.00-STE1-0A PROJECT: **PERMIT DRAWINGS** TREK DEVELOPMENT GROUP, INC. BEDFORD DWELLINGS PHASE II A BLOCK BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

REVISIONS

REV DATE COMMENT

1 4/15/2024 DOMI REVIEW

4 8/1/2024 DOMI REVIEW

2 4/30/2024 PRELIM BID PACKAGE

3 6/11/2024 ARCH COORDINATION

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PROJECT No.:

DRAWN BY:

CHECKED BY:

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1 ALLEGHENY SQUARE, SUITE 402

PITTSBURGH, PA 15212 Phone: (724) 638-8500

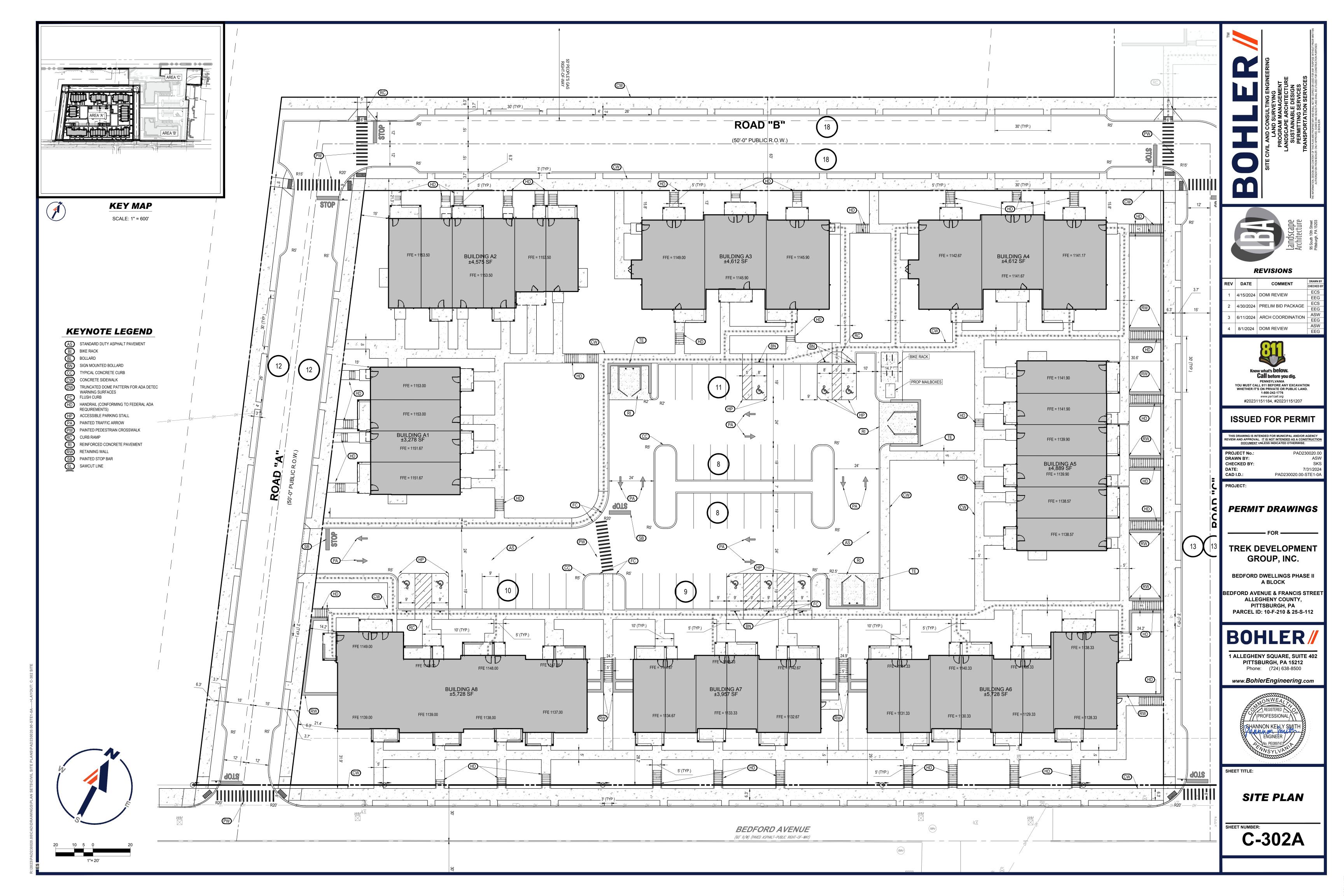
**BOHLER** 

///PROFESSIONAL/

SHEET TITLE:

**OVERALL** SITE PLAN

C-301A



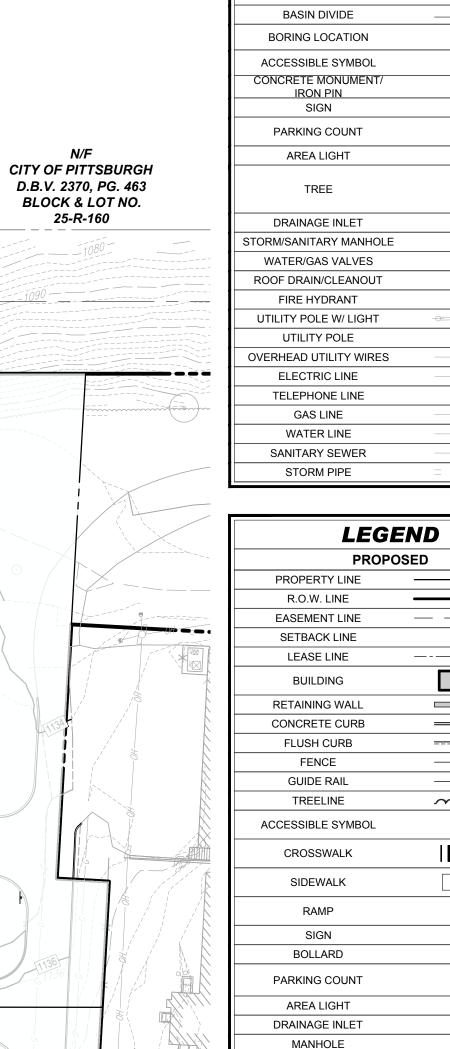


CITY OF PITTSBURGH

BLOCK & LOT NO.

D.B.V. 2370, PG. 463

25-R-160



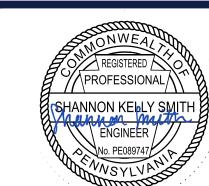
NOTE: REFER TO MASS EARTHWORK PLANS & GASOLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR DEMOLITION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN ON THIS PLAN.

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PITTSBURGH, PA 15212
Phone: (724) 638-8500

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REVISIONS

REV DATE COMMENT

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4 8/1/2024 DOMI REVIEW

2 4/30/2024 PRELIM BID PACKAGE

3 6/11/2024 ARCH COORDINATION

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**PERMIT DRAWINGS** 

----- FOR -----

TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II A BLOCK

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY,

PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

1 ALLEGHENY SQUARE, SUITE 402

PAD230020.00-STE1-0A

PROJECT No.:

CHECKED BY: DATE: CAD I.D.:

DRAWN BY:

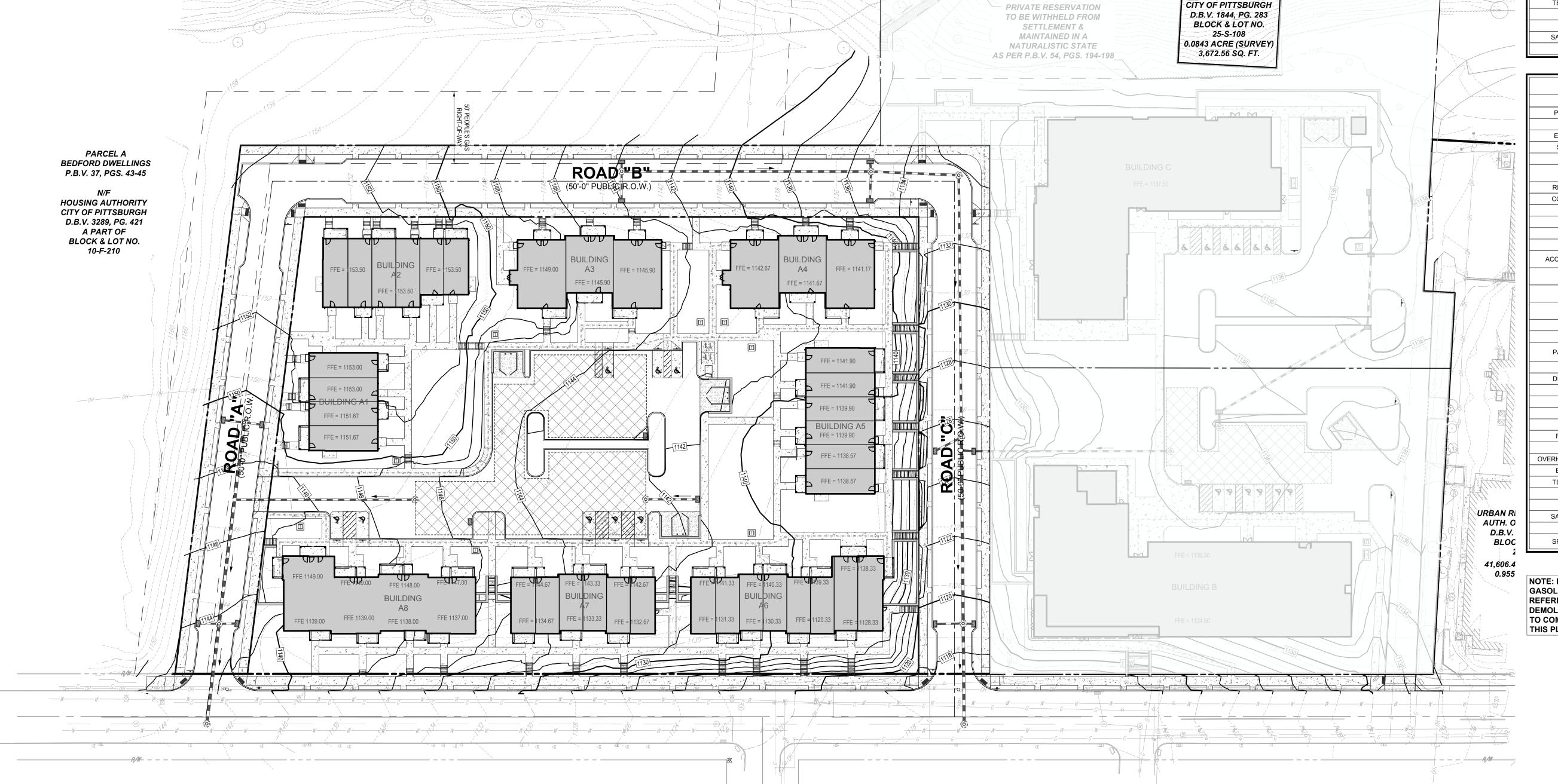
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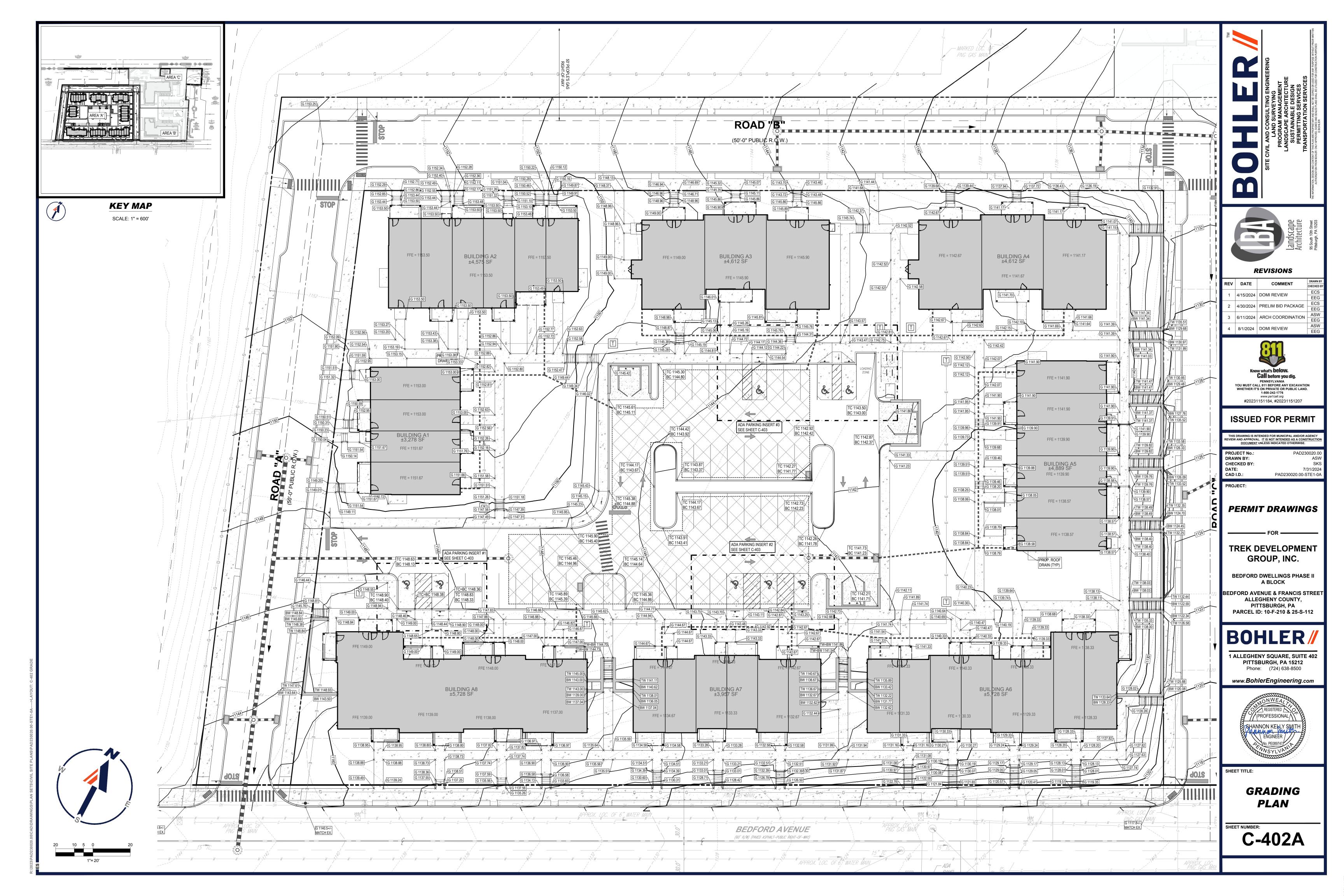
SHEET TITLE:

OVERALL GRADING PLAN

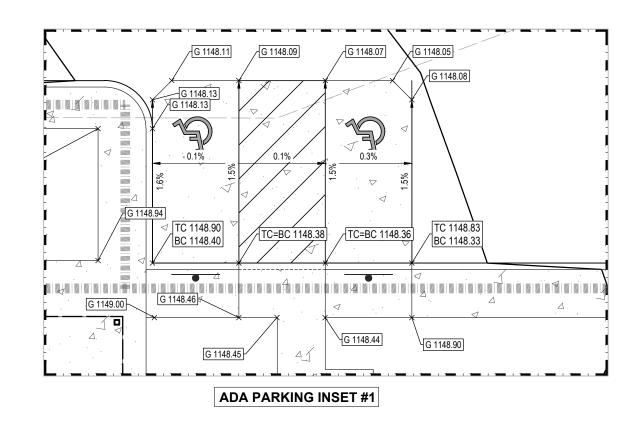
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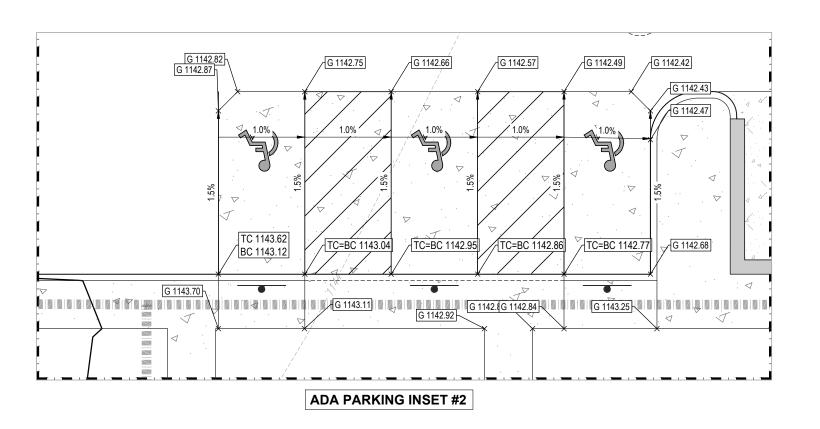
C-401A

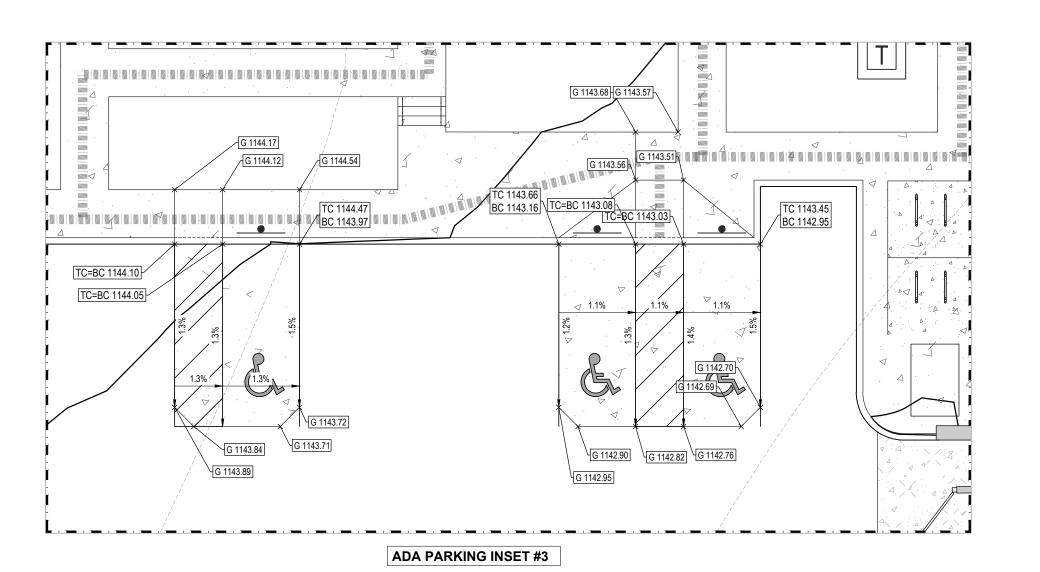












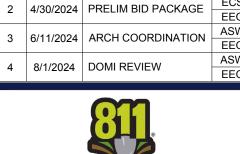
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# REVISIONS REV DATE COMMENT DRAWN BY CHECKED BY CHECKED BY CHECKED BY 1 4/15/2024 DOMI REVIEW ECS EEG 2 4/30/2024 PRELIM BID PACKAGE ECS EEG 3 6/11/2024 ARCH COORDINATION ASW





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PROJECT No.:	PAD230020.00								
DRAWN BY:	ASW								
CHECKED BY:	SKS								
DATE:	7/31/2024								
CAD I.D.:	PAD230020.00-STE1-0A								

PROJECT:

## PERMIT DRAWINGS

----- FOR -----

# TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II A BLOCK

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA

PARCEL ID: 10-F-210 & 25-S-112

## **BOHLER**/

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

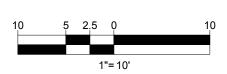
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SHEET TITLE:

ADA
PARKING
GRADING
INSETS

C-403A





N/F CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO.

25-R-160

CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO.

PROPERTY L R.O.W. LINE EASEMENT LI SETBACK LIN RETAINING W CONCRETE C FLUSH CUR FENCE <del>-----</del> **GUIDE RAIL** \_\_\_\_\_\_  $\sim$ ACCESSIBLE SYMBOL CROSSWALK SIDEWALK SIGN PARKING COUNT AREA LIGHT DRAINAGE INLET **ENDWALL** RIPRAP CLEANOUT UTILITY POLE

> NOTE: REFER TO PWSA TAP/TERMINATION PLANS PREPARED BY SCI-TEK CONSULTANTS, INC. FOR WATER, SANITARY, AND STORM SEWER TAP/TERMINATION INFORMATION.

GAS LINE

NOTE: REFER GASLINE RELOCATION PLANS, AS REFERENCED ON SHEET C-102, FOR GAS LINE INSTALLATION THAT WILL BE COMPLETED PRIOR TO COMMENCEMENT OF WORK SHOWN

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PROJECT:							

### **PERMIT DRAWINGS**

—— FOR ———

#### TREK DEVELOPMENT GROUP, INC.

BEDFORD DWELLINGS PHASE II

BEDFORD AVENUE & FRANCIS STREET **ALLEGHENY COUNTY,** PITTSBURGH, PA

PARCEL ID: 10-F-210 & 25-S-112

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

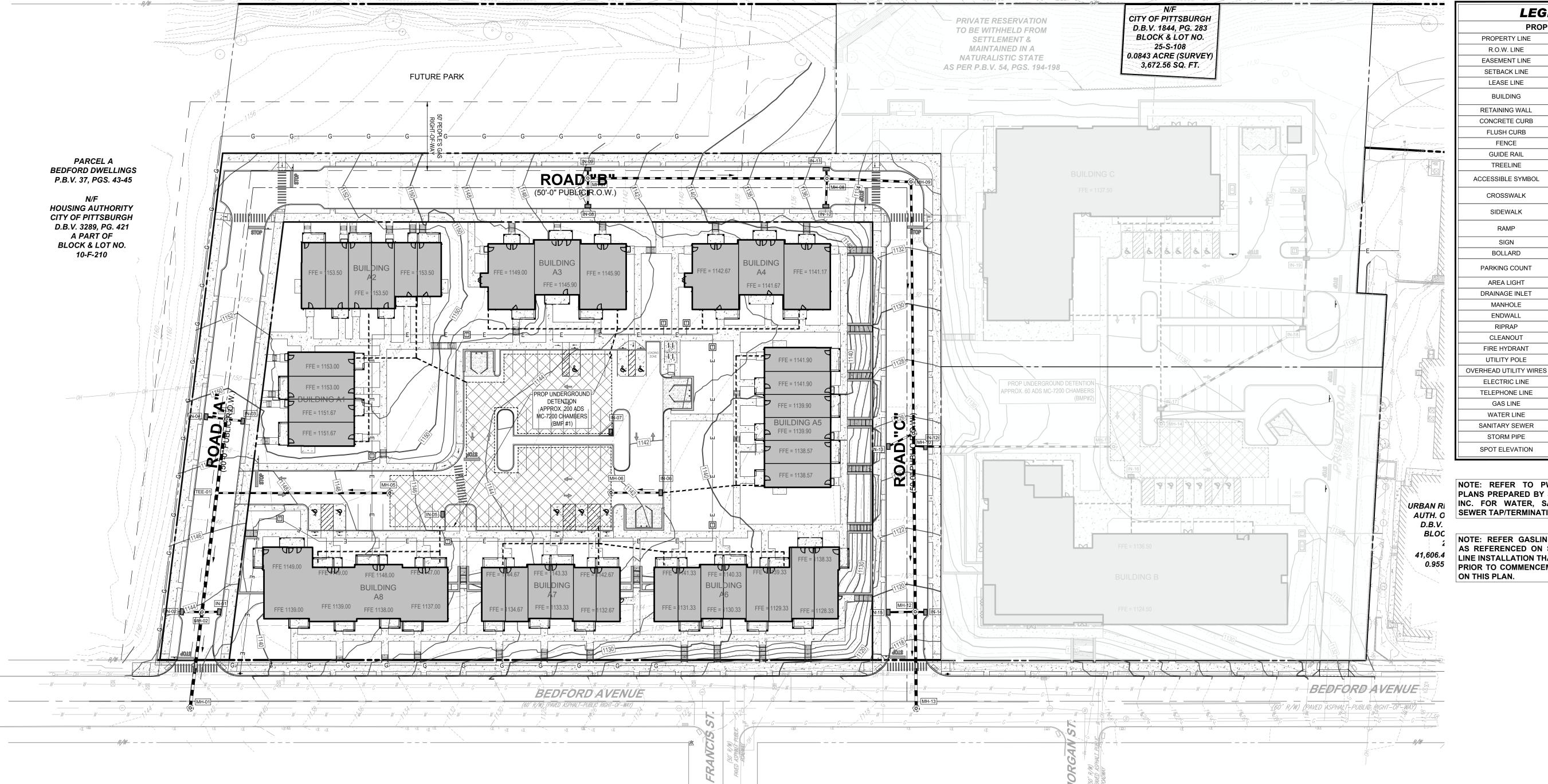
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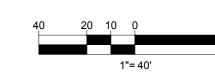


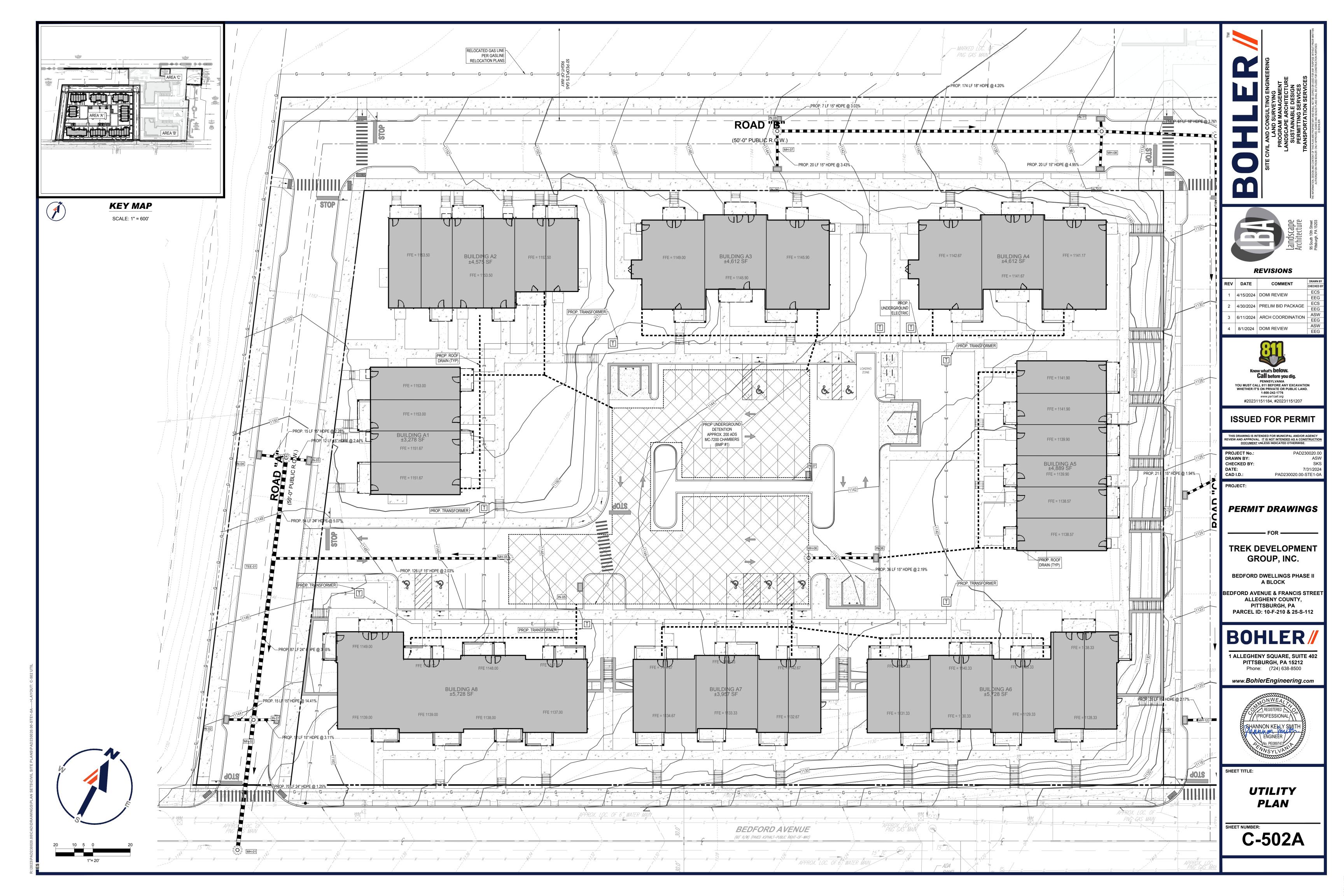
SHEET TITLE:

**OVERALL UTILITY PLAN** 

C-501A

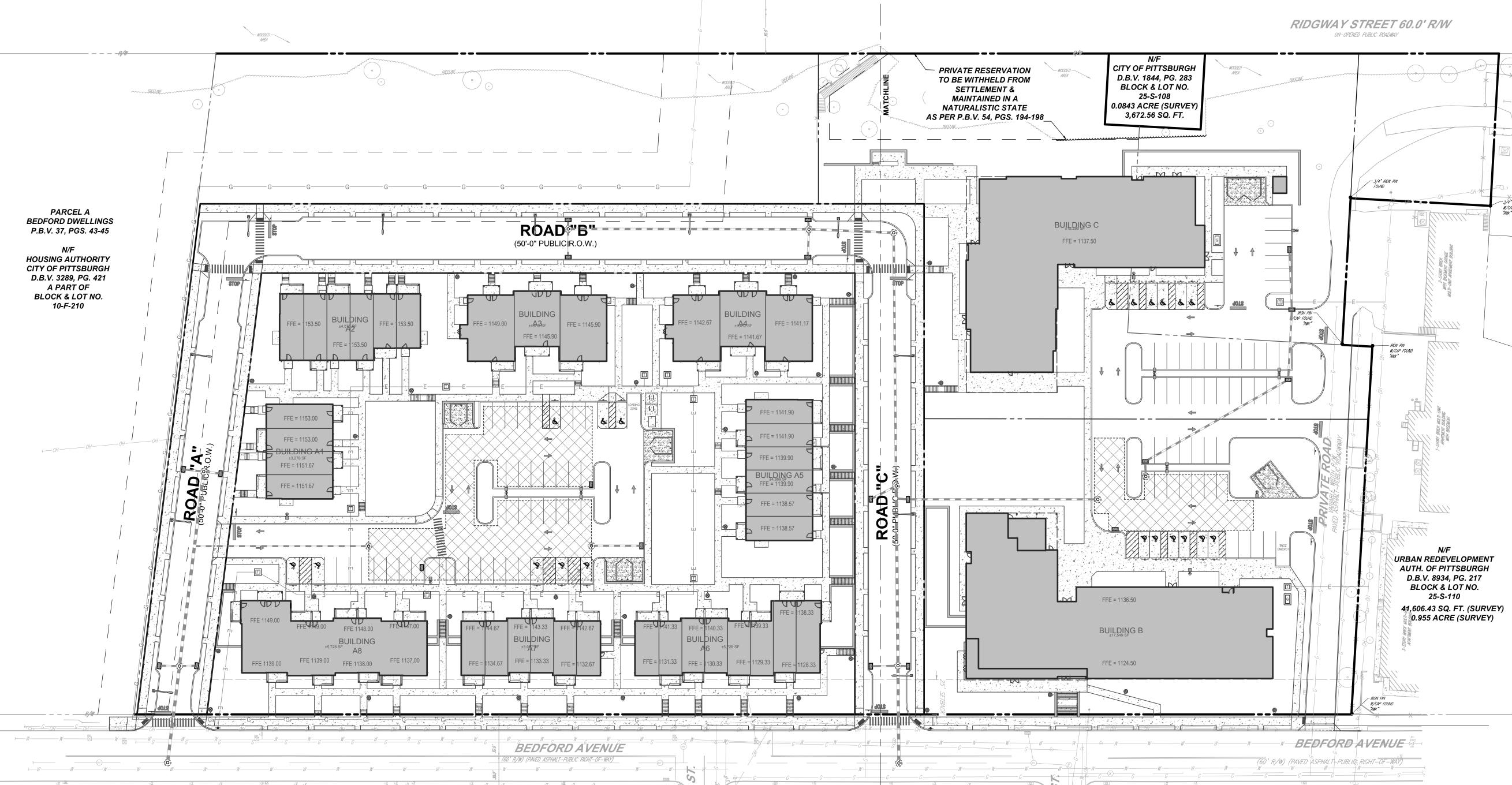








CITY OF PITTSBURGH D.B.V. 2370, PG. 463 BLOCK & LOT NO. 25-R-160



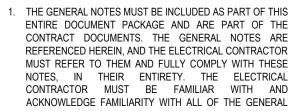
#### **GENERAL LIGHTING NOTES**

ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.

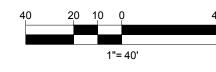
- 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE 1 FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE
- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- 7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY. IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- 8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.
- 9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC STUDY WILL BE REJECTED.
- 12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.





- RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.

- 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT





#### REVISIONS

REV	DATE	COMMENT	DRAWN BY
NE V	DAIL	COMMENT	CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS
ı	4/13/2024	DOWN REVIEW	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS
2	4/30/2024	PRELIMI BID PACKAGE	EEG
3	6/11/2024	ARCH COORDINATION	ASW
3	0/11/2024	ARCH COORDINATION	EEG
4	8/1/2024	DOMI REVIEW	ASW
4	0/1/2024	DOMI KEVIEW	EEG



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PROJECT:

#### **PERMIT DRAWINGS**

— FOR ——

#### TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS PHASE II** 

BEDFORD AVENUE & FRANCIS STREET **ALLEGHENY COUNTY,** PITTSBURGH, PA

PARCEL ID: 10-F-210 & 25-S-112

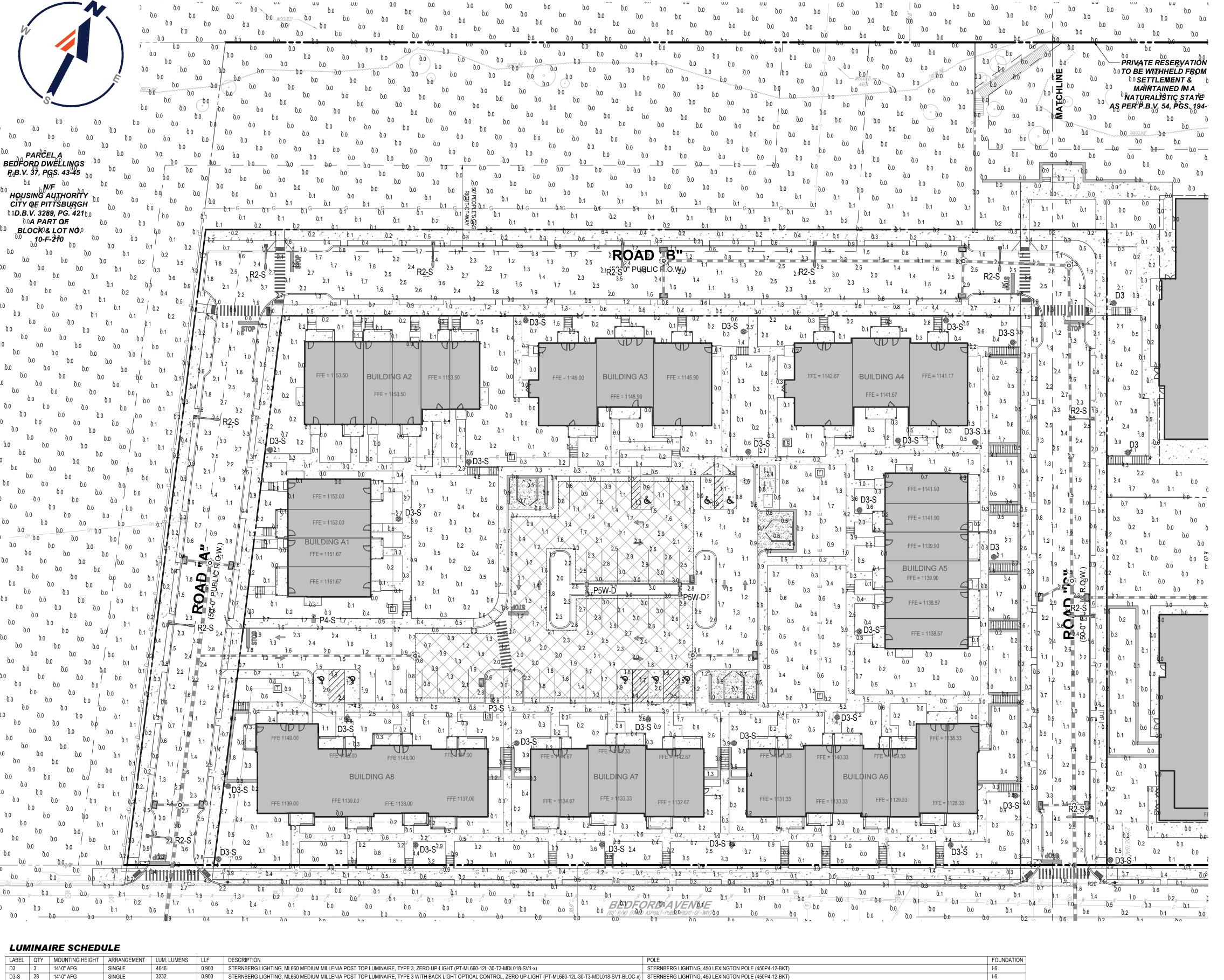
1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

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SHEET TITLE:

**OVERALL** LIGHTING PLAN



#### **GENERAL LIGHTING NOTES**

- 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- 5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE. BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S. MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE
- IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY
- STUDY WILL BE REJECTED.
- 12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE,

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

- 2. THE ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
- 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.

- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE BUILDING AND ELECTRICAL CODES.
- 7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY,
- 8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO
- 9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC
- HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.







#### **REVISIONS**

V	DATE	COMMENT	DRAWN BY
1	4/15/2024	DOMI REVIEW	ECS
!	4/13/2024	DOWN REVIEW	EEG
2	4/30/2024	PRELIM BID PACKAGE	ECS
4/30/2022		PRELIMI BID PACKAGE	EEG
3	6/11/2024	ARCH COORDINATION	ASW
)	0/11/2024	ARCH COORDINATION	EEG
1	8/1/2024	DOMI REVIEW	ASW
+	0/1/2024	DOWN REVIEW	EEG



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PAD230020.00-LLGT-2E

DATE: CAD I.D.: PROJECT:

### PERMIT DRAWINGS

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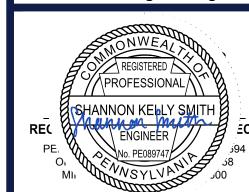
#### TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS PHASE II** 

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY. PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

www.BohlerEngineering.com



SHEET TITLE:

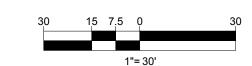
LIGHTING PLAN

C-702

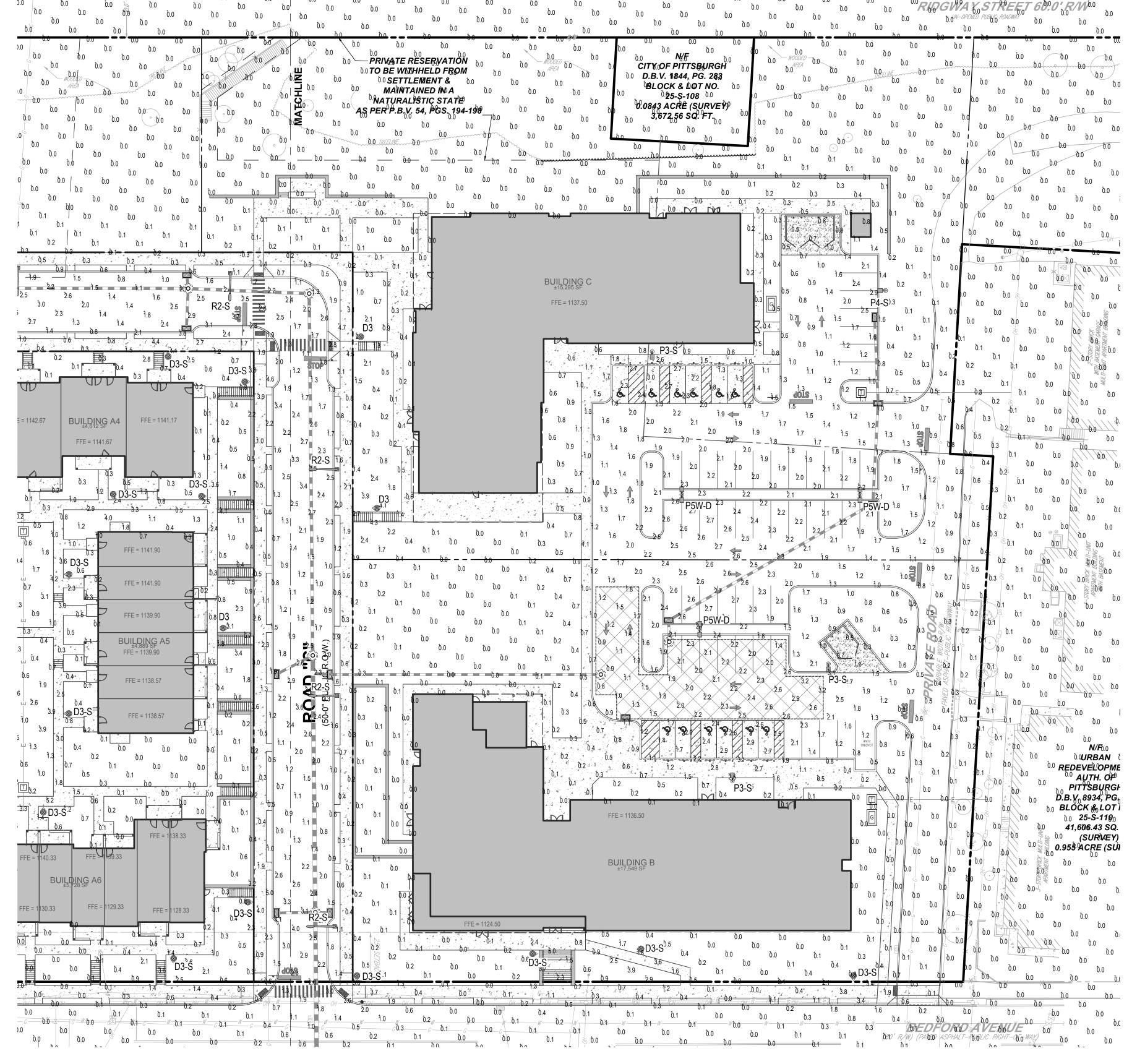
LA	BEL QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE	FOUNDATION
D3	3	14'-0" AFG	SINGLE	4646	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENIA POST TOP LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-x)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-BKT)	I-6
D3-	·S 28	14'-0" AFG	SINGLE	3232	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENIA POST TOP LUMINAIRE, TYPE 3 WITH BACK LIGHT OPTICAL CONTROL, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-BLOC-x)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-BKT)	I-6
P3-	S 4	20'-0" AFG	SINGLE	7197	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-3-x-HIS)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D1-DT5)	I-3
P4-	S 2	20'-0" AFG	SINGLE	7412	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-4-x-HIS)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D1-DT5)	I-3
P5\	N-D 5	20'-0" AFG	BACK-BACK	9395	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-5W-x)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D2-DT5)	I-3
R2-	·S 11	20'-0" AFG	SINGLE	8395	0.900	AMERICAN ELECTRIC LIGHTING BY ACUITY, AUTOBAHN SERIES ATB0 ROADWAY LED LUMINAIRE, TYPE 2 WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ATB0-P203-x-R2-3K-x-HSS)	HOLOPHANE BY ACUITY, ANCHOR BASE POLE/MOUNTING ARM COMBO, 20' NOMINAL LENGTH WITH 6' ARM (FRTSU-20-59B-SMP-US6-HG-BCV-TRF)	I-6
		•	•					*

#### **CALCULATION SUMMARY**

-							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.18	5.2	0.0	N.A.	N.A.
SIDEWALKS	ILLUMINANCE	Fc	1.16	5.4	0.0	N.A.	N.A.
EAST PARKING	ILLUMINANCE	Fc	1.83	3.2	0.5	3.66	6.40
WEST PARKING	ILLUMINANCE	Fc	1.64	3.5	0.5	3.28	7.00
NEW DEDICATED ROADS	ILLUMINANCE	Fc	1.91	4.1	0.6	3.18	6.83







#### LUMINAIRE SCHEDULE

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE	FOUNDATION
D3	3	14'-0" AFG	SINGLE	4646	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENIA POST TOP LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-x)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-BKT)	I-6
D3-S	28	14'-0" AFG	SINGLE	3232	0.900	STERNBERG LIGHTING, ML660 MEDIUM MILLENIA POST TOP LUMINAIRE, TYPE 3 WITH BACK LIGHT OPTICAL CONTROL, ZERO UP-LIGHT (PT-ML660-12L-30-T3-MDL018-SV1-BLOC-x)	STERNBERG LIGHTING, 450 LEXINGTON POLE (450P4-12-BKT)	I-6
P3-S	4	20'-0" AFG	SINGLE	7197	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 3 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-3-x-HIS)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D1-DT5)	I-3
P4-S	2	20'-0" AFG	SINGLE	7412	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 4 WITH HOUSE SIDE SHIELD, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-4-x-HIS)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D1-DT5)	I-3
P5W-D	5	20'-0" AFG	BACK-BACK	9395	0.900	GARDCO BY SIGNIFY, ECOFORM LED AREA LUMINAIRE, TYPE 5W, ZERO UP-LIGHT (ECF-S-32L-700-WW-G2-AR-5W-x)	GARDCO BY SIGNIFY, STRAIGHT SQUARE STEEL POLE, 17'-6" LENGTH (SSS-CB-4-11-17.5-D2-DT5)	I-3
R2-S	11	20'-0" AFG	SINGLE	8395	0.900	AMERICAN ELECTRIC LIGHTING BY ACUITY, AUTOBAHN SERIES ATB0 ROADWAY LED LUMINAIRE, TYPE 2 WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (ATB0-P203-x-R2-3K-x-HSS)	HOLOPHANE BY ACUITY, ANCHOR BASE POLE/MOUNTING ARM COMBO, 20' NOMINAL LENGTH WITH 6' ARM (FRTSU-20-59B-SMP-US6-HG-BCV-TRF)	I-6

#### CALCULATION SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
ALL POINTS	ILLUMINANCE	Fc	0.18	5.2	0.0	N.A.	N.A.
SIDEWALKS	ILLUMINANCE	Fc	1.16	5.4	0.0	N.A.	N.A.
EAST PARKING	ILLUMINANCE	Fc	1.83	3.2	0.5	3.66	6.40
WEST PARKING	ILLUMINANCE	Fc	1.64	3.5	0.5	3.28	7.00
NEW DEDICATED ROADS	ILLUMINANCE	Fc	1.91	4.1	0.6	3.18	6.83

#### **GENERAL LIGHTING NOTES**

- VARIABLE FIELD CONDITIONS.
- 5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S.
- 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S. MECHANICAL ENGINEER'S AND/OR ELECTRICAL CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.
- 7. THE ELECTRICAL CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE PROFESSIONAL OF RECORD'S ATTENTION, PRIOR TO THE START OF CONSTRUCTION.
- ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY
- 11. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO BOHLER FOR REVIEW AND APPROVAL. SUBSTITUTION REQUESTS MUST BE ACCOMPANIED BY A HORIZONTAL PHOTOMETRIC STUDY DEMONSTRATING THAT THE LUMINAIRE(S) IN QUESTION WILL MEET THE DESIGN INTENT OF THIS PLAN. SUBSTITUTION REQUESTS WITHOUT A PHOTOMETRIC
- 12. LIGHT POLE FOUNDATIONS ARE SHOWN ON THE PLAN IN THE INTENDED LOCATION BASED ON THE LIGHTING CALCULATIONS, UNLESS OTHERWISE NOTED. LIGHT SYMBOLS ARE SHOWN LARGER THAN ACTUAL SIZE, HOWEVER FOUNDATION SIZE IS SHOWN AT ACTUAL SIZE.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE ELECTRICAL CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE ELECTRICAL CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

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- 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED
- 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC).
- 8. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO APPROVED.
- 9. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
- 10. THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- STUDY WILL BE REJECTED.







#### REVISIONS

ΞV	DATE	COMMENT	DRAWN BY
			CHECKED BY
1	4/15/2024	DOMI REVIEW	ECS
ı	4/15/2024		EEG
2	4/20/2024		ECS
2	4/30/2024 PRELIM BID PACKAGE	EEG	
3	6/11/2024	4/30/2024 PRELIM BID PACKAGE 6/11/2024 ARCH COORDINATION	ASW
3	0/11/2024		EEG
4	8/1/2024	DOMI REVIEW	ASW
			EEG



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TREK DEVELOPMENT

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## GROUP, INC.

**BEDFORD DWELLINGS PHASE II** 

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

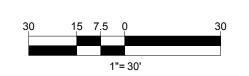
1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212

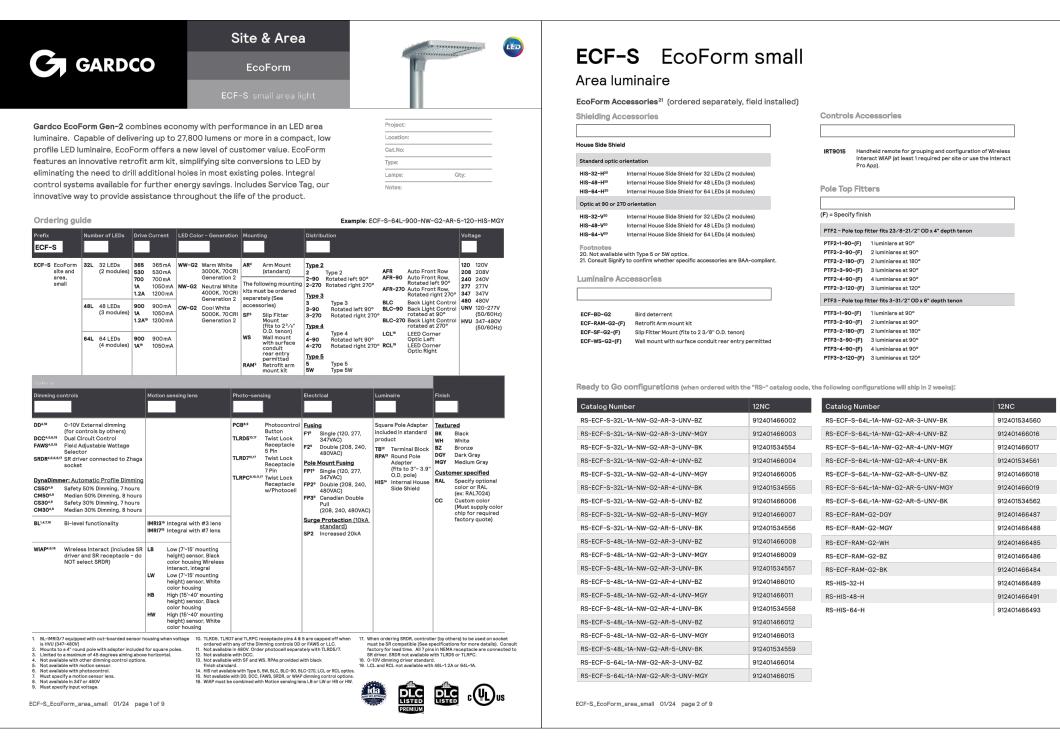
Phone: (724) 638-8500 www.BohlerEngineering.com

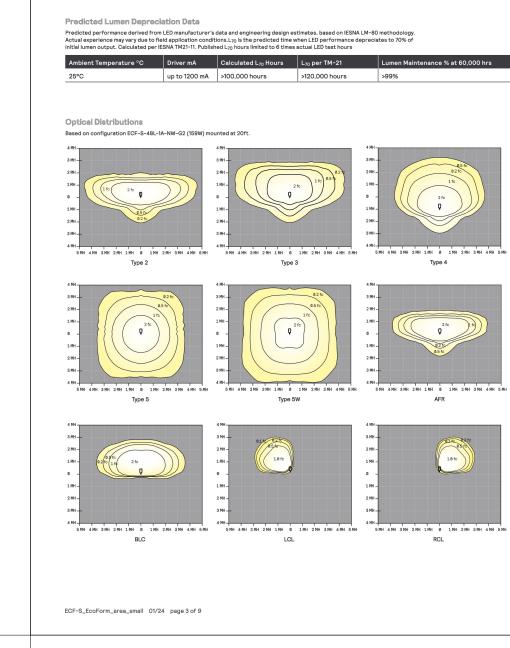


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LIGHTING PLAN

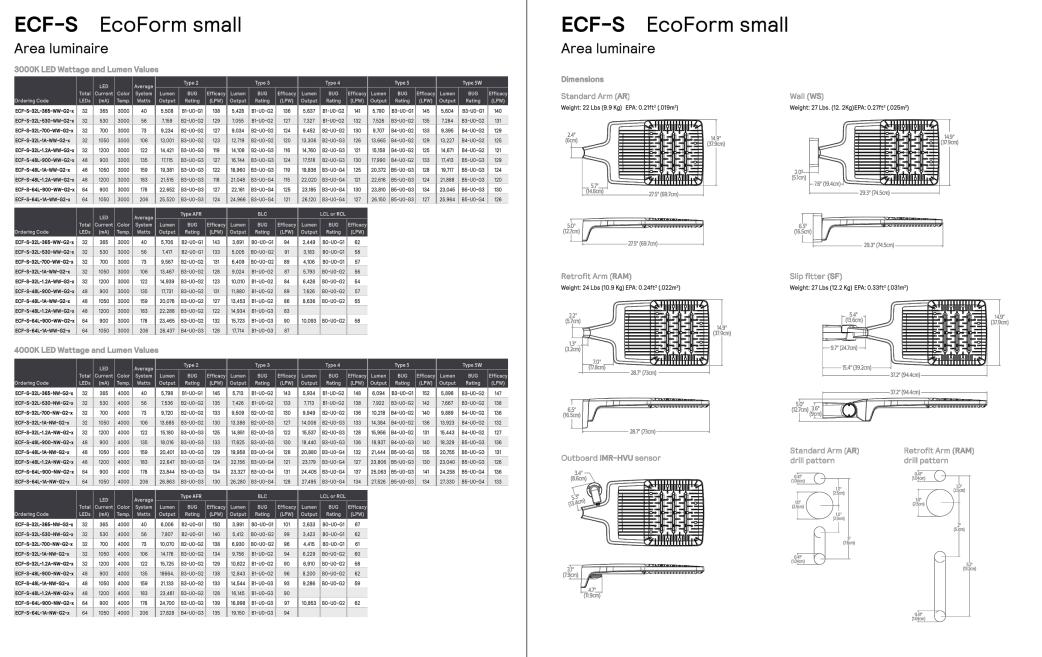




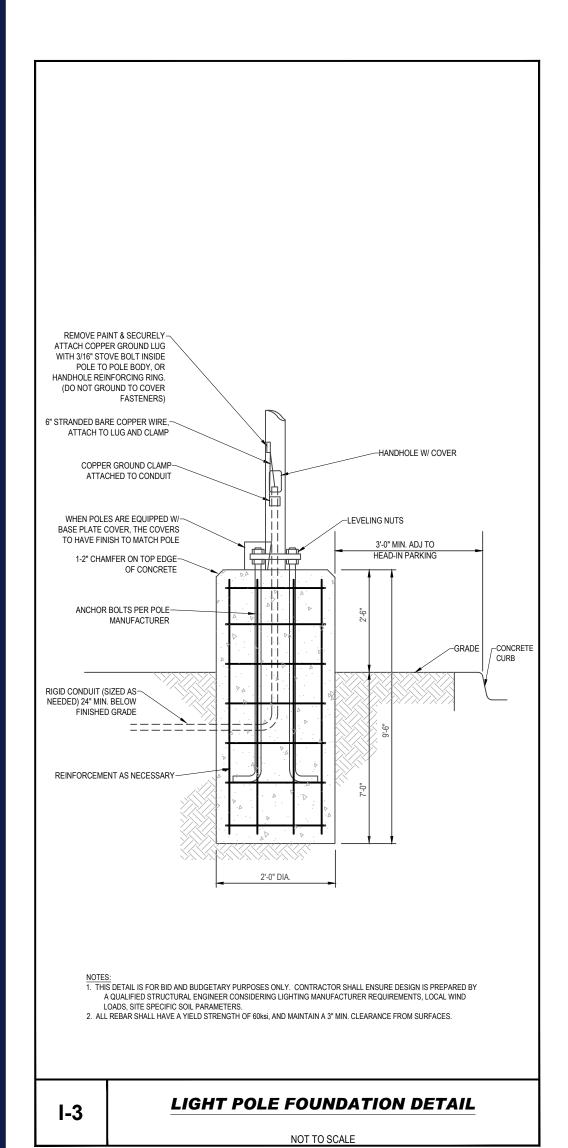


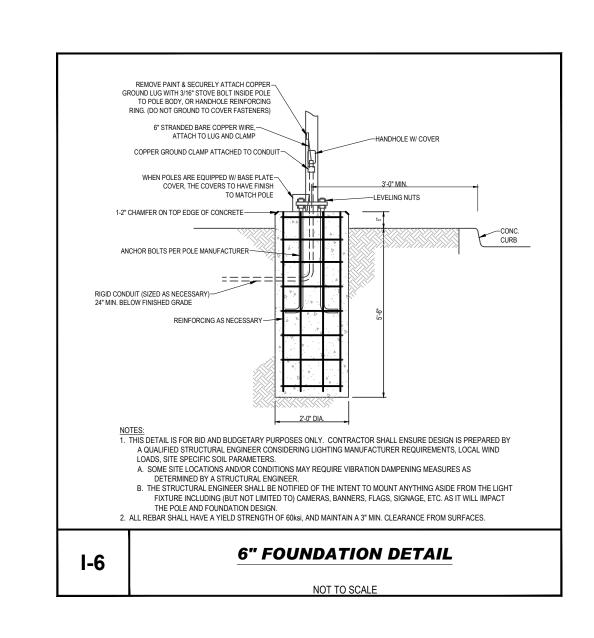
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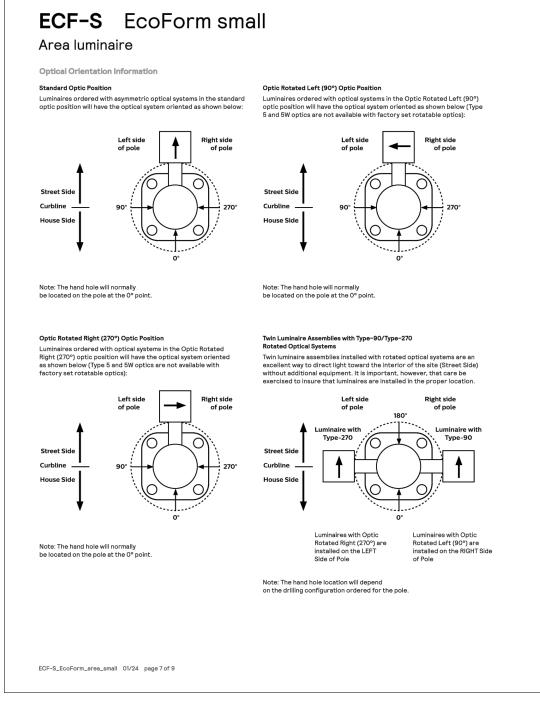
Area luminaire

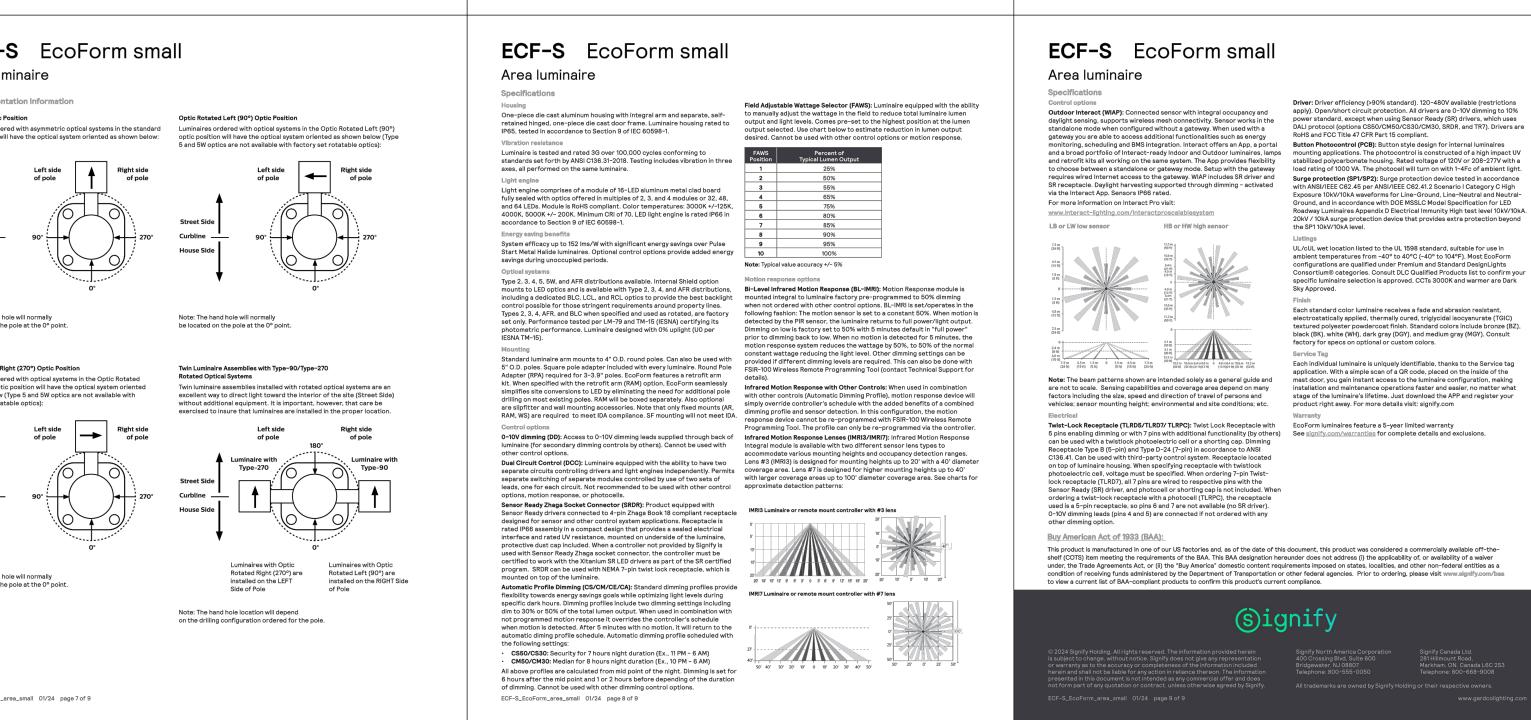


ECF-S\_EcoForm\_area\_small 01/24 page 6 of 9

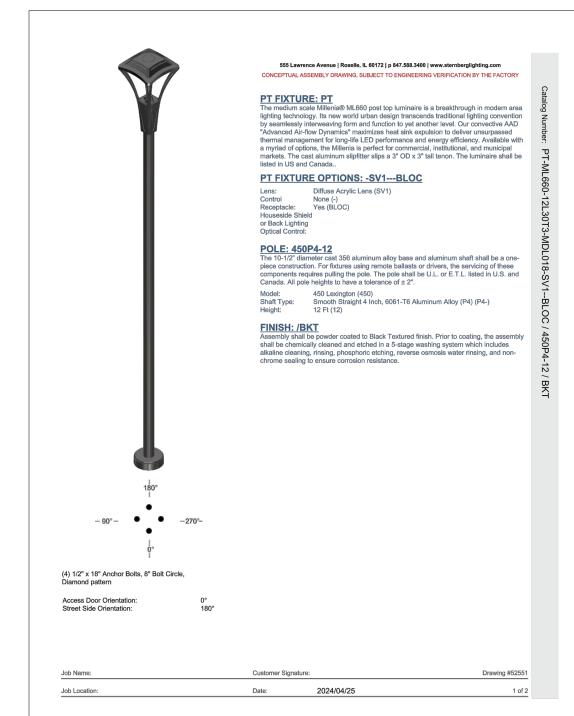


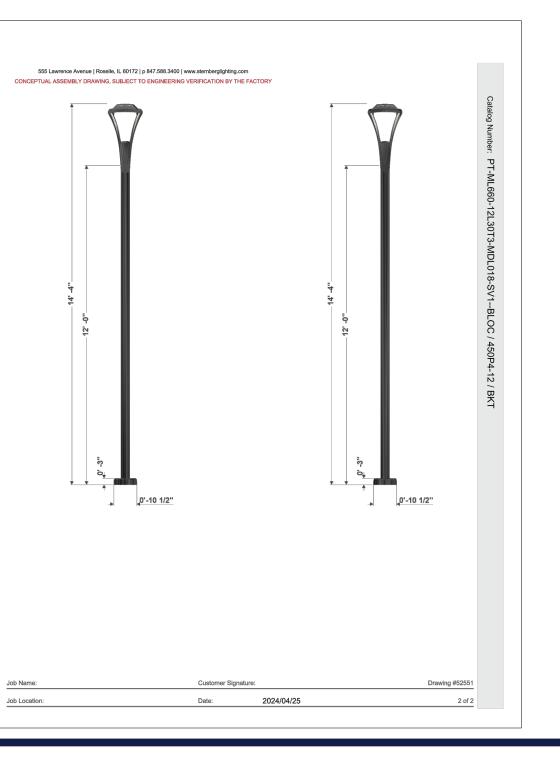


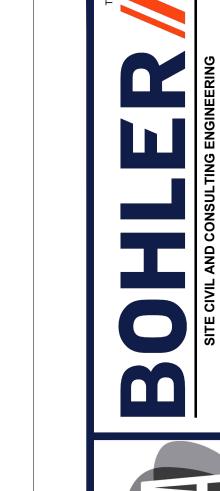




ECF-S\_EcoForm\_area\_small 01/24 page 4 of 9









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'	4/13/2024		EEG		
2	4/30/2024	4/30/2024 PRELIM BID PACKAGE	ECS		
	4/30/2024		EEG		
3	6/11/2024	ARCH COORDINATION	ASW		
3	0/11/2024		EEG		
4	8/1/2024	DOMI REVIEW	ASW		
4			EEG		



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TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS PHASE II** 

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

## **BOHLER**

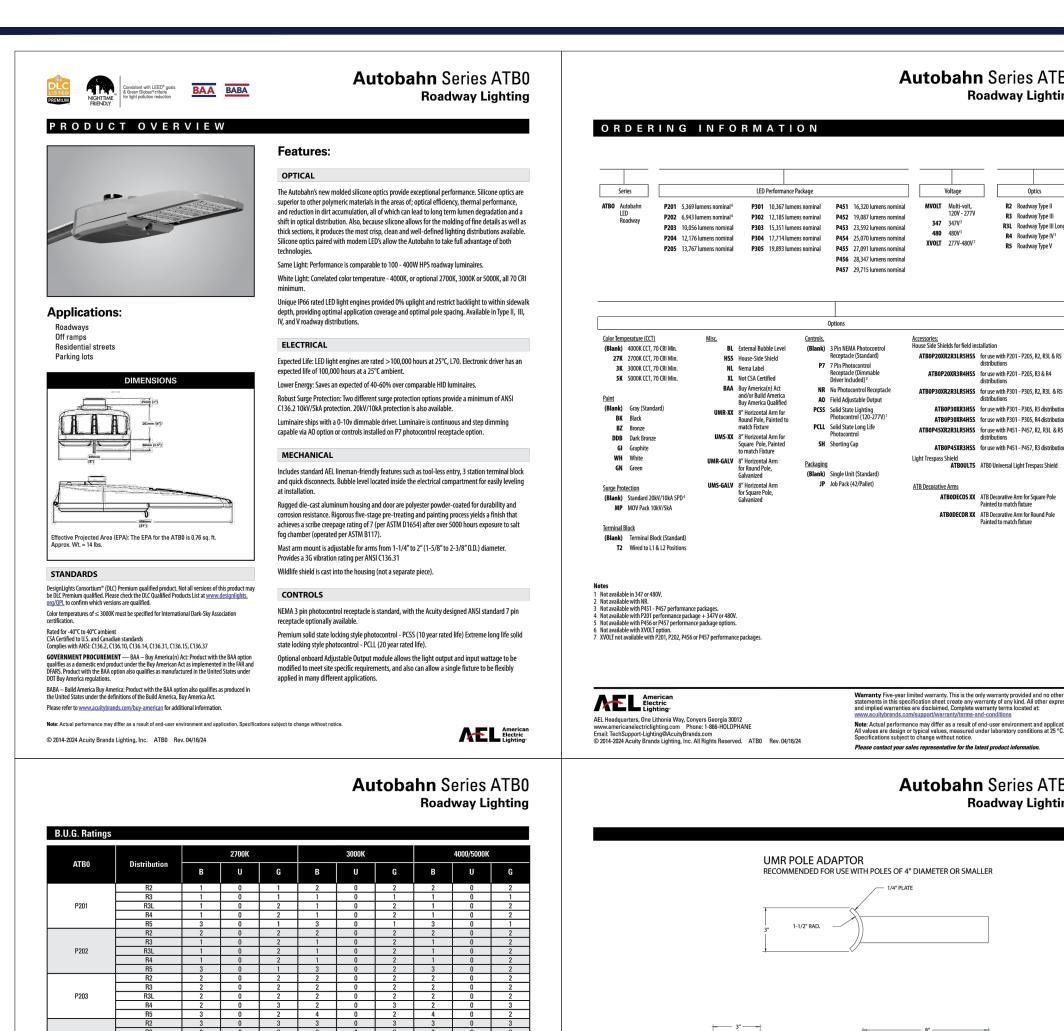
1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212

Phone: (724) 638-8500



SHEET TITLE:

LIGHTING **DETAILS** 



Narranty Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty tarms located at:

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Please contact your sales representative for the latest product information.

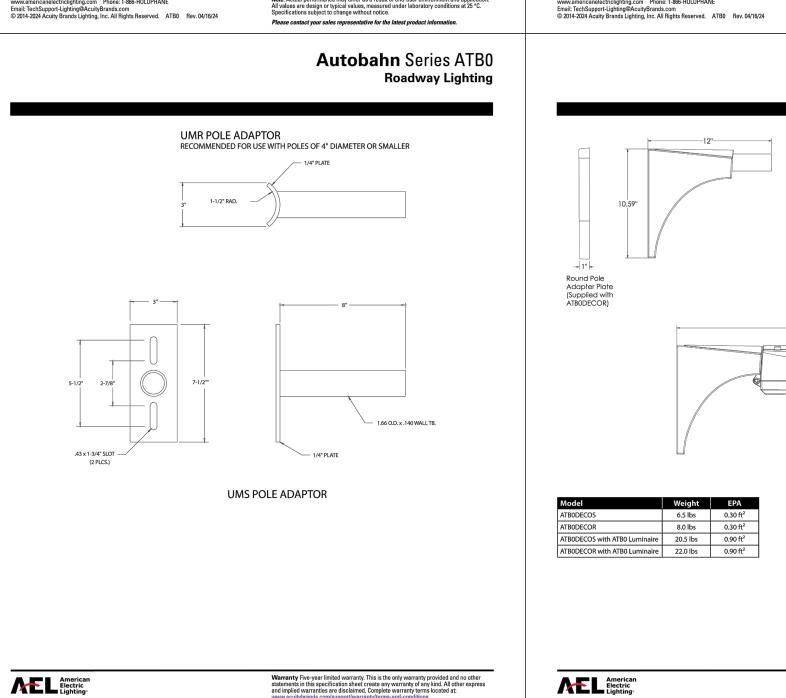
AEL Headquarters, One Lithonia Way, Conyers Georgia 30012
www.americanelectriclighting.com Phone: 1-866-HDLDPHANE
Email: TechSupport-LightingAculiyGrands.com
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P205

P301

American Electric Lighting

AEL Headquarters, One Lithonia Way, Conyers Georgia 30012
www.americanelectriclighting.com Phone: 1-866-H0L0PHANE
Email: TechSupport-LightingAcuityBrands.com
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Please contact your sales representative for the latest product information.

**Autobahn** Series ATB0

ATBOP20XR2R3LR5HSS for use with P201 - P205, R2, R3L & R5 distributions

ATBOP20XR3R4HSS for use with P201 - P205, R3 & R4 distributions

ATBOP30XR2R3LR5HSS for use with P301 - P305, R2, R3L & R5 distributions

ATBOP30XR3HSS for use with P301 - P305, R3 distribution

ATBOP30XR4HSS for use with P301 - P305, R4 distribution

ATBOP45XR3HSS for use with P451 - P457, R3 distribution

ATBODECOS XX ATB Decorative Arm for Square Pole Painted to match fixture

ATBODECOR XX ATB Decorative Arm for Round Pole Painted to match fixture

Warranty Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

ATBOP45XR2R3LR5HSS for use with P451 - P457, R2, R3L & R5 distributions

Light Trespass Shield

ATBOULTS ATBO Universal Light Trespass Shield

**347** 347V<sup>5</sup>

P456 28,347 lumens nominal

**P457** 29,715 lumens nominal

NR No Photocontrol Receptacle

AO Field Adjustable Output

PCSS Solid State Lighting Photocontrol (120-277V)

PCLL Solid State Long Life Photocontrol

SH Shorting Cap

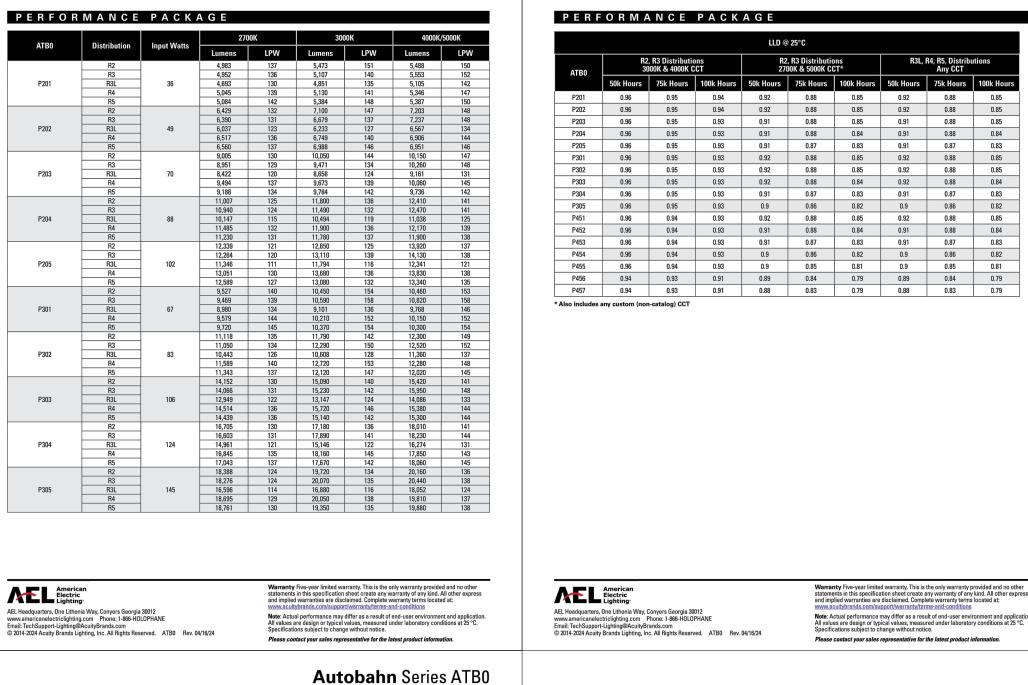
Packaging
(Blank) Single Unit (Standard)

JP Job Pack (42/Pallet)

**Roadway Lighting** 

R2 Roadway Type II

R3 Roadway Type III
R3L Roadway Type III Long



Roadway Lighting

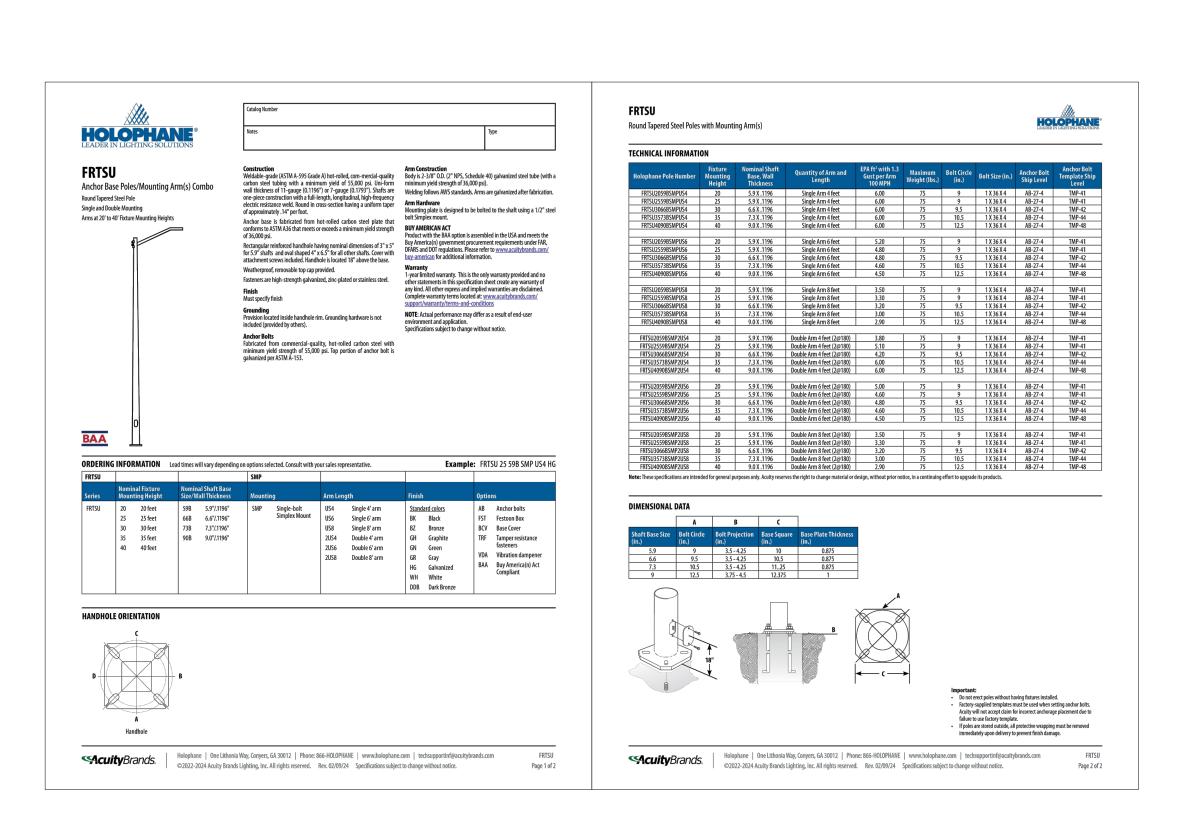
**Autobahn** Series ATB0

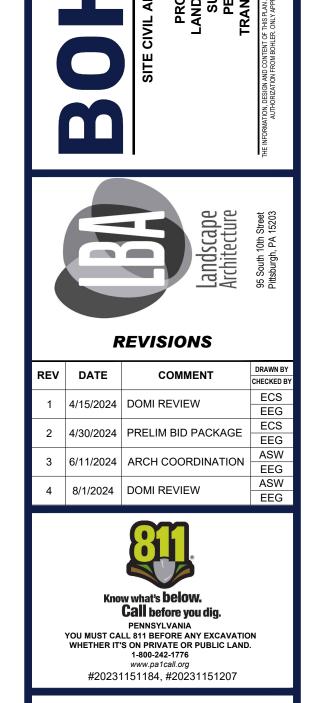
**Roadway Lighting** 

Autobahn Series ATB0

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**Roadway Lighting** 







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DRAWN BY: CHECKED BY:

DATE: CAD I.D.:

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TREK DEVELOPMENT GROUP, INC.

**BEDFORD DWELLINGS PHASE II** 

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY,

PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

# **BOHLER**

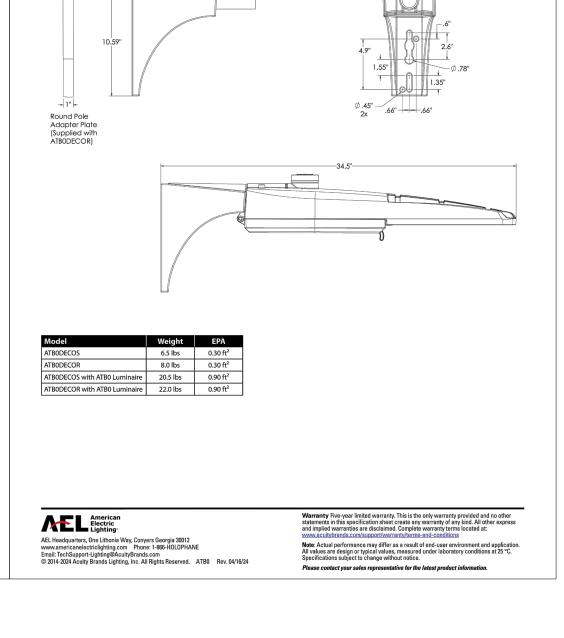
1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500

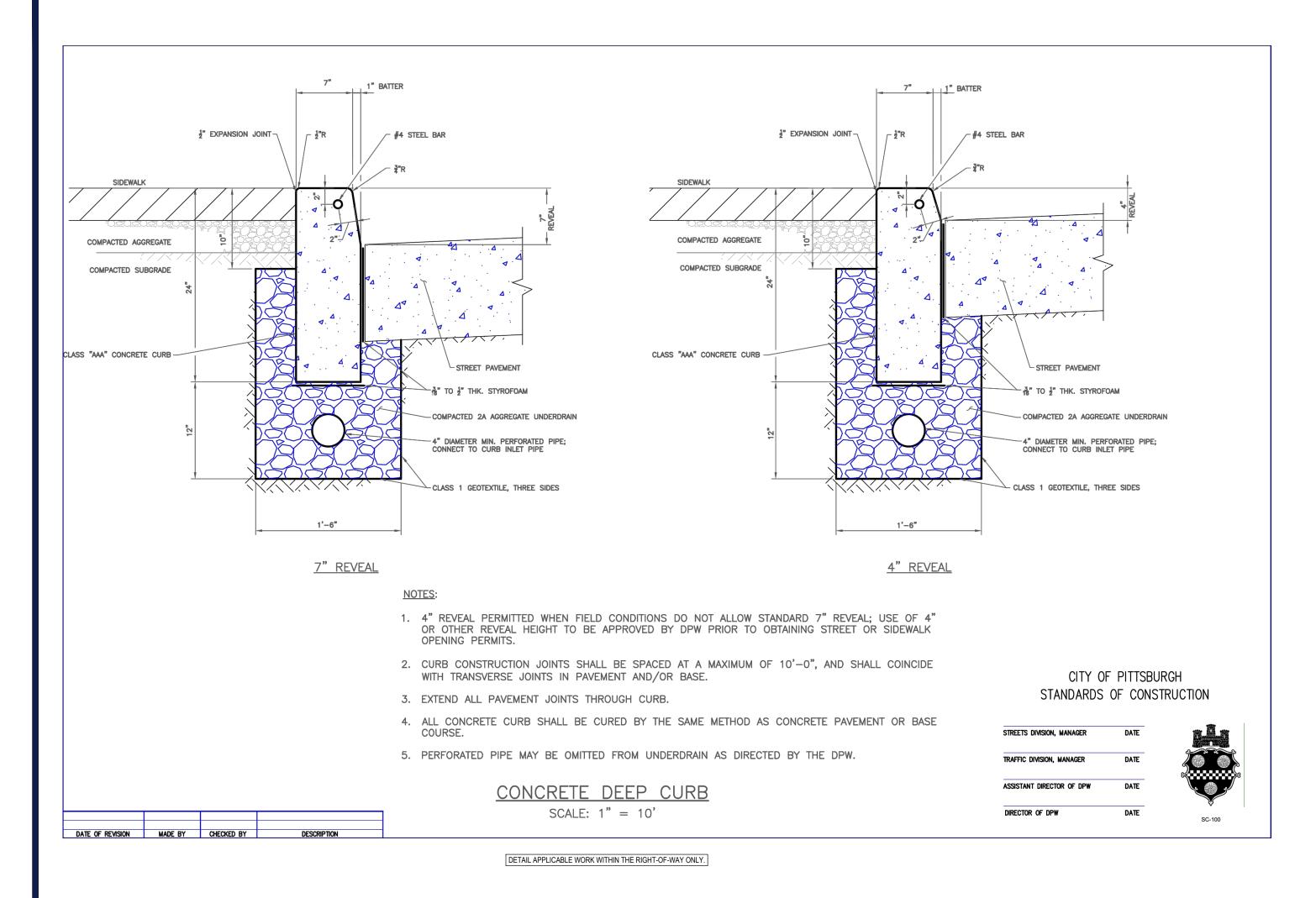
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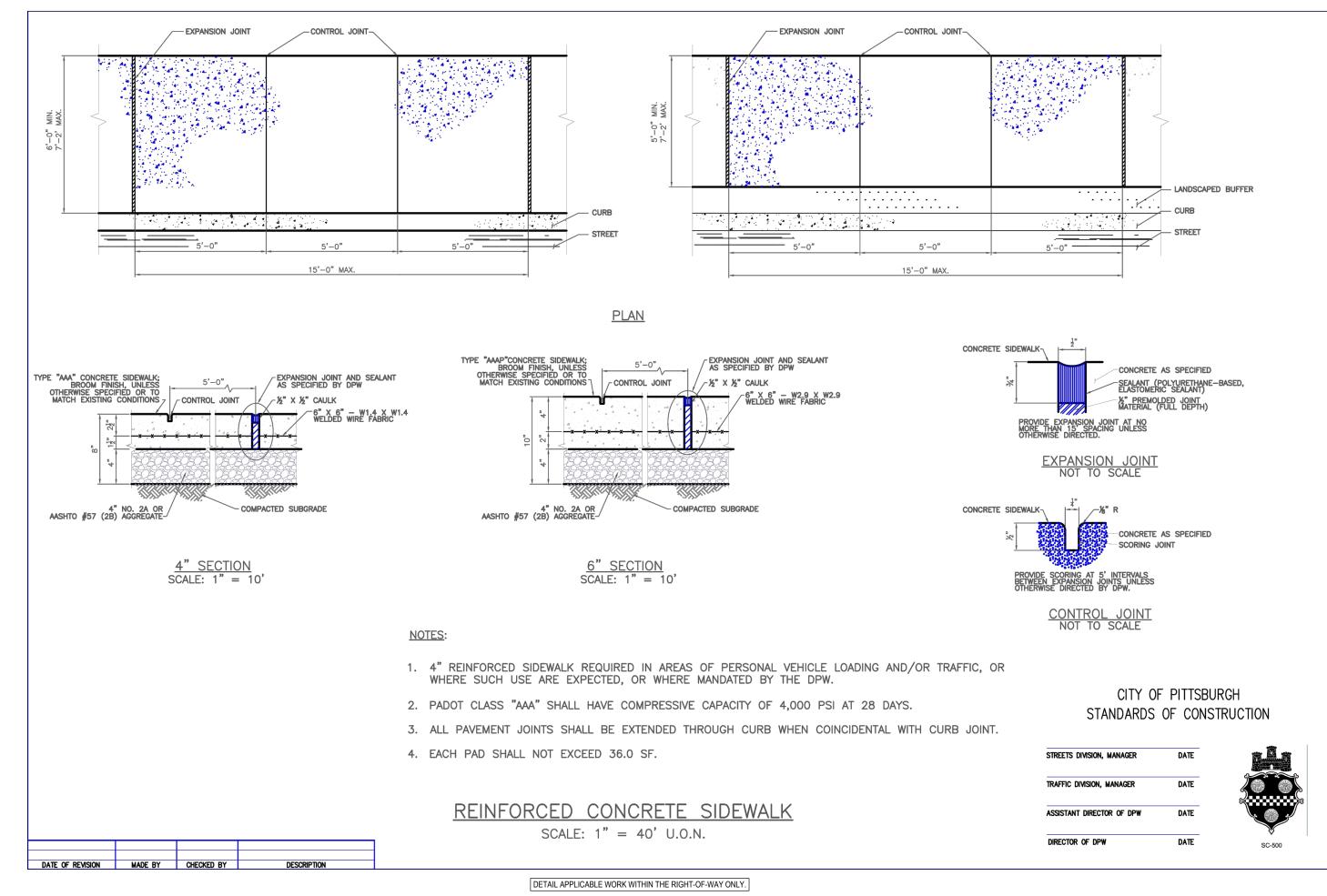


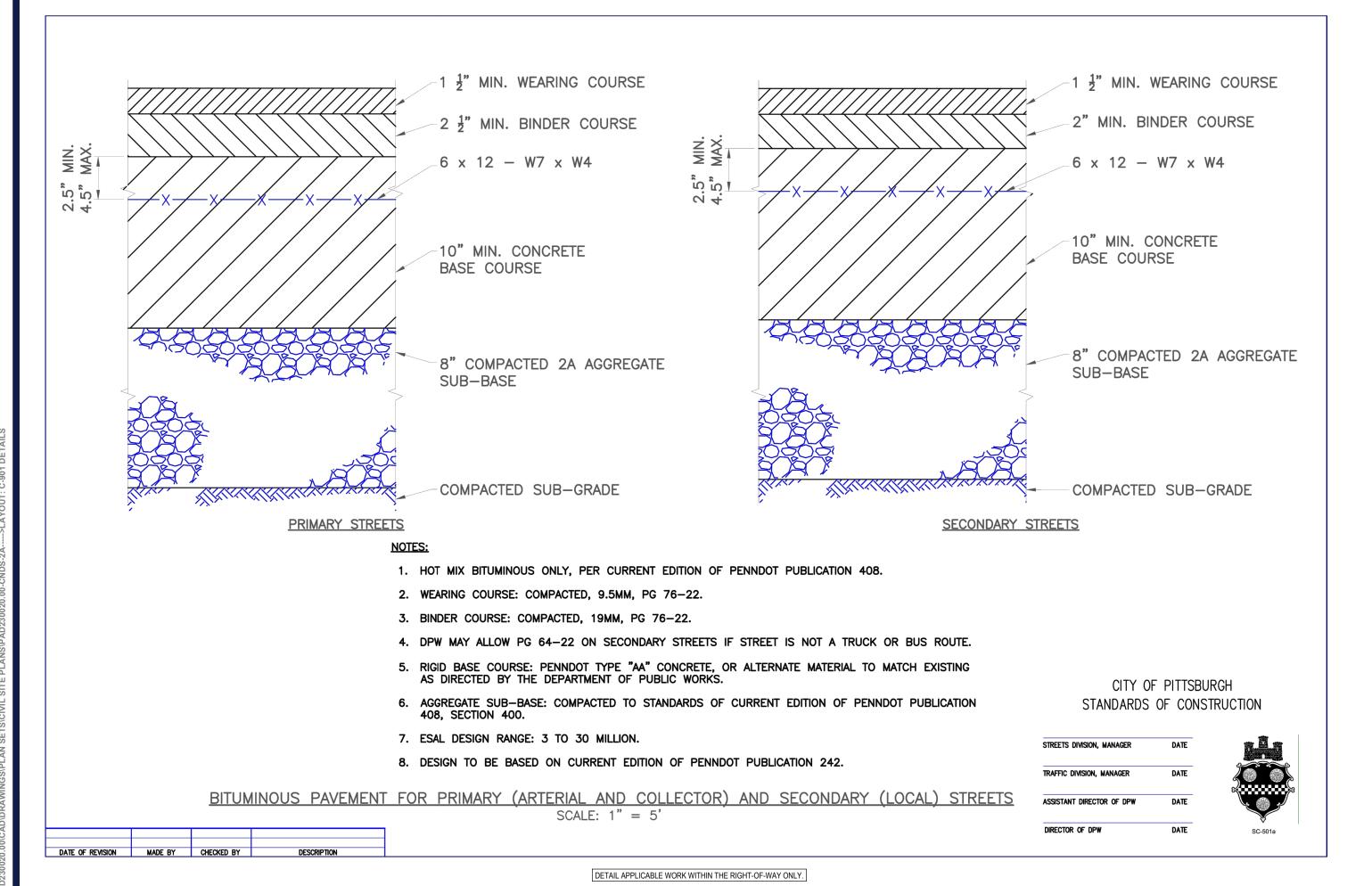
SHEET TITLE:

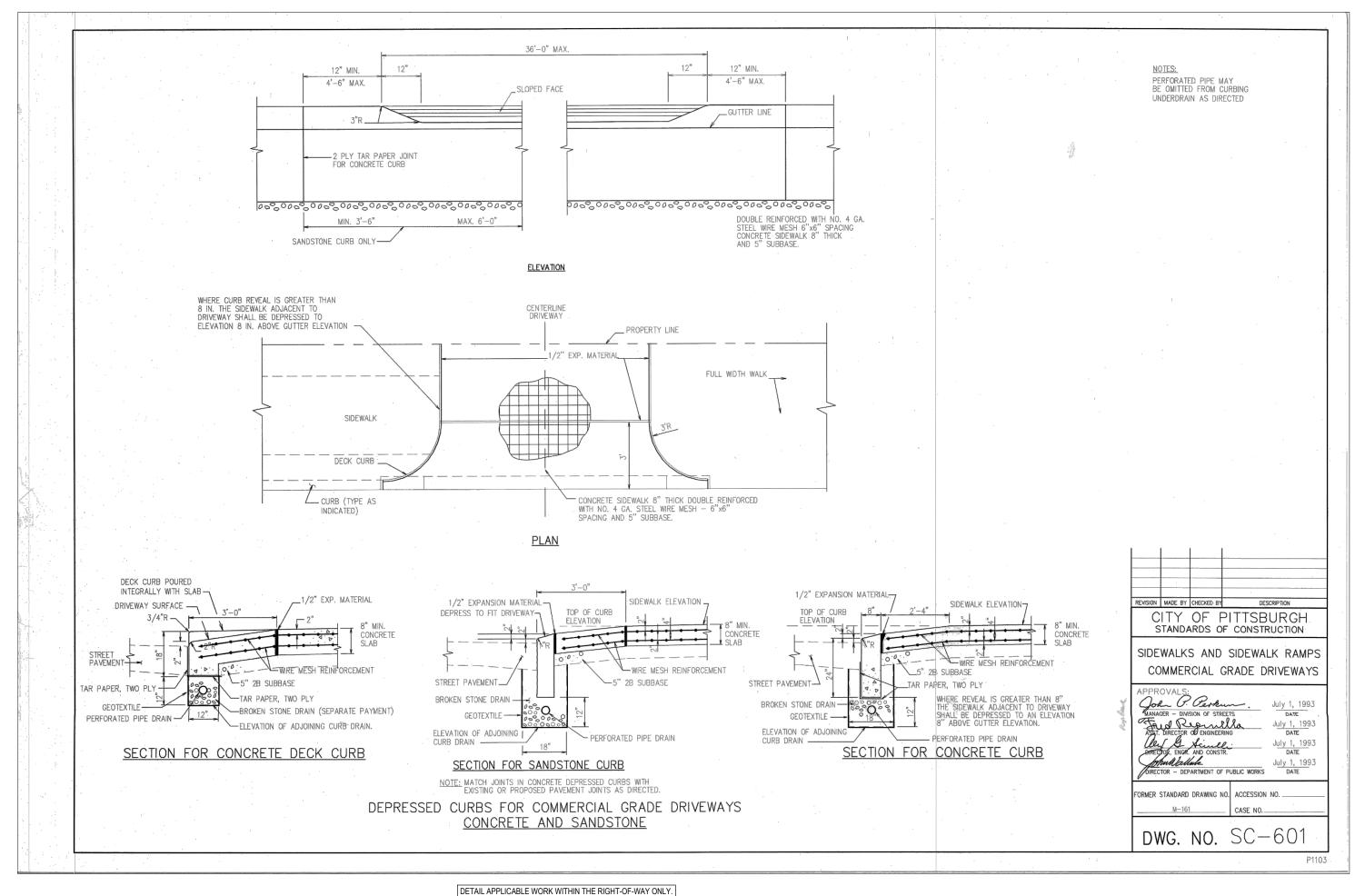
**LIGHTING DETAILS** 











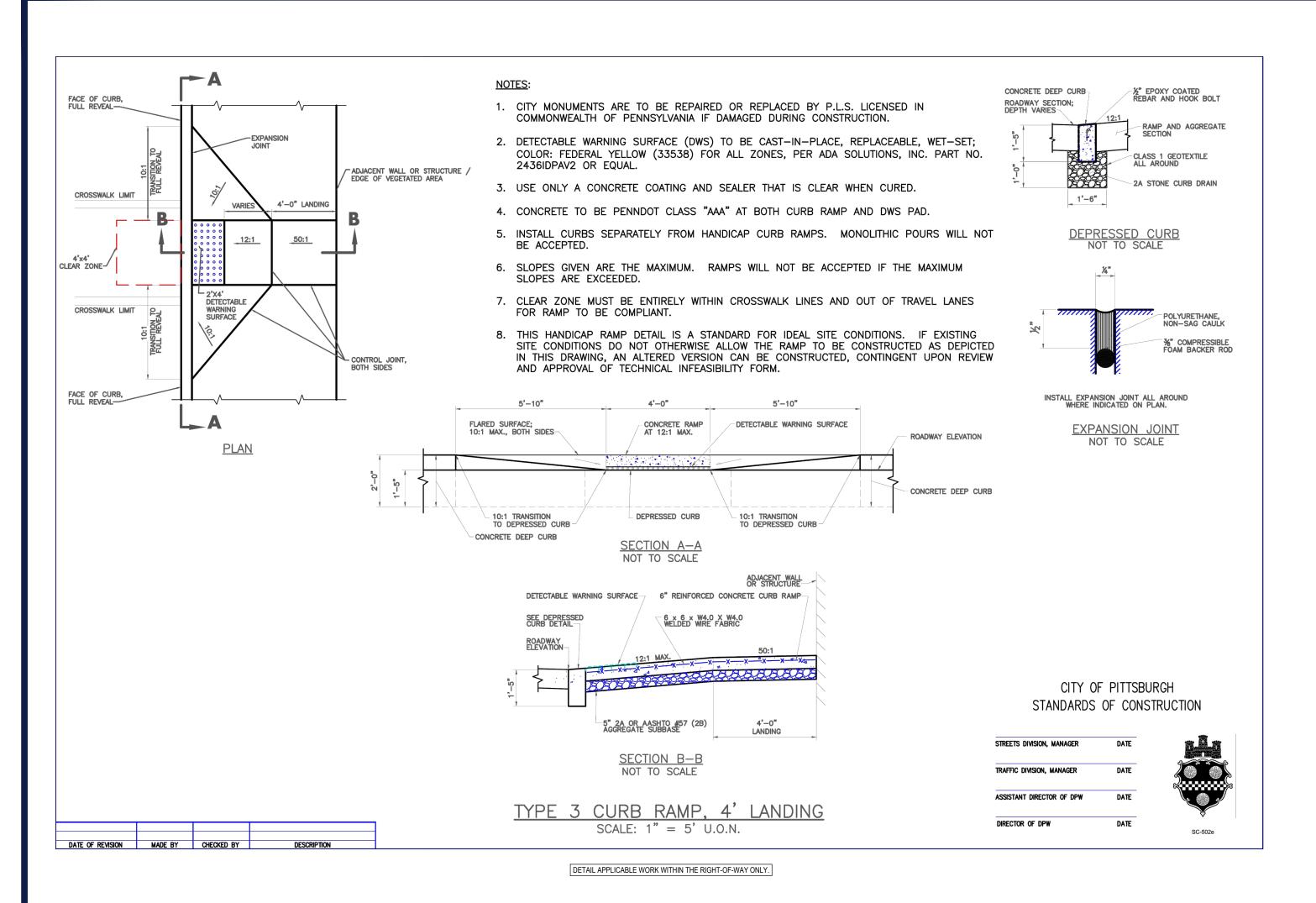
**REVISIONS** REV DATE COMMENT Call before you dig. YOU MUST CALL 811 BEFORE ANY EXCAVATION 1-800-242-1776 #20231151184, #20231151207 FOR PRELIMINARY **BIDDING PURPOSES ONLY** THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE. PROJECT No.: PAD230020.00 DRAWN BY: CHECKED BY: CAD I.D.: PAD230020.00-CNDS-2 PROJECT: PRELIMINARY/ FINAL LAND **DEVELOPMENT DRAWINGS** TREK DEVELOPMENT GROUP, INC. **BEDFORD DWELLINGS A BLOCK** BEDFORD AVENUE & FRANCIS STREET **ALLEGHENY COUNTY,** PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

1 ALLEGHENY SQUARE, SUITE 402 PITTSBURGH, PA 15212 Phone: (724) 638-8500 www.BohlerEngineering.com /\PROFESSIONAL \ SHANNON KELLY SMITH ENGINEER / SHEET TITLE:

**DETAIL** SHEET

C-901

ORG. DATE - 2/7/2024

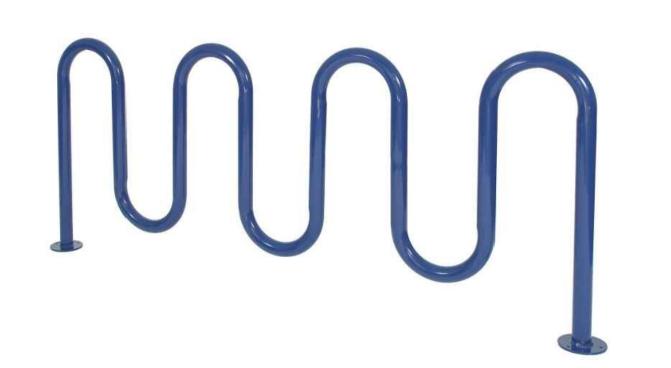


10'-0" MINIMUM 5'-0" MIN. ROOF STRUCTURE 730' MIN. FROM STOP SIGNS; IN ABSENCE OF STOP SIGN, 30' MIN. FROM APEX OF CORNER. ROOF DOWNSPOUT LINE -5' MIN. FROM GAS AND WATER BOXES. -PLANTING STRIP-\_\_ AREA OF WIDENING OVERHEAD UTILITY LINE LGAS OR WATER BOX FOLLOW IN A LINE TO STREET; DO NOT PLANT ON DOWNSPOUT LINE TO AVOID FUTURE EXCAVATION DIFFICULTIES IN PRESENCE OF OVERHEAD WIRES, SELECT UTILITY-COMPATIBLE TREES OR THOSE FROM A RECOMMENDED SPECIES LIST. PLANTING STRIP IN ABSENCE OF OVERHEAD WIRES, SELECT SHADE TREES FROM A RECOMMENDED SPECIES LIST. The Carlo State of State of State of NOTES: 1. PLANTING AREA IS MINIMUM 30 SF. 2. SPACING OF LARGE SHADE TREES: SPACING OF UTILITY COMPATIBLE TREES: 25' O/C 3. PLANTING STRIP MAY BE WIDENED AND SIDEWALK CUT OUT TO ACCOMMODATE THE MINIMUM REQUIRED AREA FOR PLANTING SPACE. 4. ADJACENT PROPERTY OWNER MAY ELECT TO PLANT A SINGLE, LOW-GROWING SHRUB ON PLANTING CONSIDERATIONS FOR TREES BOTH SIDES OF THE TREE, OR NON-INVASIVE GROUNDCOVER TO HELP AVOID COMPACTION OF ROOT ZONE FROM PEDESTRIAN TRAFFIC. WITHIN RIGHT-OF-WAY 5. MAINTAIN A 3'-0" MINIMUM CLEARANCE FOR PEDESTRIAN MOVEMENTS BETWEEN THE SCALE: NTS PLANTING AREA AND FAR EDGE OF SIDEWALK, ADA ACCESS IS NOT BE OBSTRUCTED. 6. PERFORM A PENNSYLVANIA ONE CALL PRIOR TO PLANTING OPERATIONS. TREE PLANTING AREA CITY OF PITTSBURGH SCALE: 1" = 40'STANDARDS OF CONSTRUCTION STREETS DIVISION, MANAGER TRAFFIC DIVISION, MANAGER ASSISTANT DIRECTOR OF DPW STREET TREE ROOT ZONE REQUIREMENTS

DETAIL APPLICABLE WORK WITHIN THE RIGHT-OF-WAY ONLY.



Loop Bicycle Rack



Create a visually appealing and durable bicycle parking solution for your recreation area. Available in 3', 5' and 7' lengths, the popular u-shaped rack allows parking for between five to nine bicycles and creates attractive sightlines in your recreation space. The bright powder coating gives it a colorful shine, and the variety of color options allows you to create a rack...

Features and Benefits: Fabricated 2-3/8" O.D. galvanized

Visually appealing and durable

Bright powder coat finish

Model: 7700

Designing award-winning playgrounds:

Certified Installer Network - GameTime trained since 1929.

Complies with ASTM standards before it leaves the factory.

Limited Lifetime Warranty on uprights, hardware and connections. Visit gametime.com/warranty for full Extends approximately 24" below warranty information ground level for in-ground mounting bicycle parking solution that is ideal for high-use recreation areas.

SCALE: AS NOTED

DIRECTOR OF DPW

#20231151184, #20231151207 FOR PRELIMINARY **BIDDING PURPOSES ONLY** 

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Know what's **below**. Call before you dig

YOU MUST CALL 811 BEFORE ANY EXCAVATION

1-800-242-1776

**REVISIONS** 

COMMENT

REV DATE

PROJECT No.: PAD230020.00 DRAWN BY: CHECKED BY: DATE: CAD I.D.:

PAD230020.00-CNDS-2A

PROJECT:

PRELIMINARY/ FINAL LAND DEVELOPMENT **DRAWINGS** 

TREK DEVELOPMENT

BEDFORD DWELLINGS A BLOCK

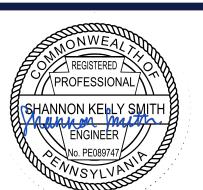
GROUP, INC.

BEDFORD AVENUE & FRANCIS STREET ALLEGHENY COUNTY, PITTSBURGH, PA PARCEL ID: 10-F-210 & 25-S-112

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SHEET TITLE:

DETAIL SHEET

C-902

ORG. DATE - 2/7/2024

